

REPORT N° 70028809-RPT-003

# LAND WEST OF THE OAKS, MASHAM

UTILITIES ASSESSMENT

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# LAND WEST OF THE OAKS, MASHAM

## UTILITIES ASSESSMENT

**C & G Jameson**

Project no: 70028809

Date: February 2017

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# QUALITY MANAGEMENT

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# 1 EXECUTIVE SUMMARY

## 1.1 INTRODUCTION

1.1.1 WSP | Parsons Brinckerhoff (WSP|PB) is appointed by C & G Jameson to undertake a Utilities Assessment to support a planning application for a proposed development on land west of The Oaks, Masham. The application is seeking outline planning permission with all matters reserved except for access for up to 60 houses, demolition of existing buildings, construction of commercial units (B1/B2/B8/D2) and informal public open space.

1.1.2 The assessment is based on an indicative layout prepared by P+HS, which shows how the development could be laid out. Based on this layout, a copy of which is located in Appendix A, the site would comprise:

- 37 semi-detached residential dwellings,
- 23 detached residential dwellings, and
- commercial units totalling 750m<sup>2</sup> in size.

1.1.3 In carrying out this assessment, WSP|PB have reviewed a 2011 Utilities Study for the site prepared by WSP (a copy of which is appended to this report) and re-consulted with the local utility providers (Yorkshire Water, Northern Powergrid and Northern Gas Network) to obtain current new supply, off-site reinforcement and diversion / protection proposals that will allow the proposed development to be accommodated by the local utility infrastructure.

1.1.4 The following are the conclusions that have been drawn from carrying out this assessment.

## 1.2 EXISTING INFRASTRUCTURE

1.2.1 There is extensive potable water, natural gas, electricity and telecommunications infrastructure located within Westholme Road and the residential developments to the north and east of the site.

1.2.2 Existing overhead and below ground electricity cables, as well as a single overhead telecommunication cable currently cross through parts of the site. Some parts of this infrastructure currently provide electricity and telecommunication supplies to disused farm buildings located in the northwest corner of the site.

## 1.3 ALTERATIONS TO THE EXISTING INFRASTRUCTURE

1.3.1 The proposed development will result in the existing disused farm buildings in the northwest corner of the site being demolished. Therefore, the telecommunications, electricity and any previously un-identified private supplies to these buildings will need to be decommissioned as part of the demolition works.

1.3.2 The remaining overhead and below ground electricity cables identified within the site will need to be retained as part of the proposed development. Northern Powergrid have stated that these cables can be diverted below ground and incorporated into the development's new electricity supply network.

1.3.3 The exact extent of these diversion/protection works will be agreed with Northern Powergrid at the detailed design stage once the layout of individual residential / commercial plots and highway layouts have been finalised.

- 1.3.4 The 2011 enquiries did not include the location of the proposed residential access route through The Oaks. Therefore, the utility suppliers did not advise on any potential diversion / protection works in this area.
- 1.3.5 It is also unlikely that the current indicative development layout (provided in the latest enquiries to the utility suppliers) will be sufficiently detailed to allow them to provide a scope of works for protecting their infrastructure within the proposed residential access route.
- 1.3.6 Therefore all the affected suppliers (Yorkshire Water, Northern Powergrid, Northern Gas Network and BT Openreach) will need to be re-consulted during the detail design of the proposed residential site access to agree the extent of any required diversionary/protection works.

## 1.4 NEW UTILITY SUPPLY REQUIREMENTS

- 1.4.1 The existing site usage (agricultural land and disused farm buildings) means that new potable water, electricity, natural gas and telecommunication supplies will need to be brought onto the site to support the proposed development.
- 1.4.2 It is likely that these new supplies will be constructed as an extension to the existing infrastructure currently supplying The Oaks residential development to the east of the site, so as to avoid constructing new infrastructure across the Swinney Beck watercourse.
- 1.4.3 Yorkshire Water has provided an interim response to the new supply application for the proposed development. Within this response they advise that “current new developments including this one will increase the properties and water demand in the area by 30%”. Due to this increase in demand, Yorkshire Water are currently unable to provide an answer to the level of network infrastructure changes that would be needed to enable a water supply to be provided to this site.
- 1.4.4 Yorkshire Water will, as part of their response to the overall 30% increase in demand, investigate all such similar development proposals in the region and the resolution of these investigations may take some time, with a progress update expected to be available in August 2017. Northern Powergrid have confirmed there is unlikely to be any off-site reinforcement works required to the wider network in order to provide the estimated electricity demand to the proposed development. This will need to be confirmed at the detail design stage once the construction programme and phasing of the proposed development has been agreed.
- 1.4.5 Northern Gas Networks have supplied a proposal for providing a new supply to the development site, which does not include for any requirement to undertake any offsite network improvements.
- 1.4.6 BT would not provide any confirmation on the layout of the new telecommunication supply to the site until the proposed development has planning permission, so they will need to be re-consulted at the detail design stage to agree a scope of works.

# 2 INTRODUCTION

## 2.1 APPOINTMENT AND BRIEF

2.1.1 WSP | Parsons Brinckerhoff (WSP|PB) is appointed by C & G Jameson to undertake a Utilities Assessment to support a planning application for a proposed development on land west of The Oaks, Masham. The application is seeking outline planning permission with all matters reserved except for access for up to 60 houses, demolition of existing buildings, construction of commercial units (B1/B2/B8/D2) and informal public open space.

2.1.2 The assessment is based on an indicative layout prepared by P+HS, which shows how the development could be laid out. Based on this layout, the site would comprise:

- 37 semi-detached residential dwellings,
- 23 detached residential dwellings, and
- commercial units totalling 750m<sup>2</sup> in size.

## 2.2 AIM OF ASSESSMENT

2.2.1 The aim of this assessment is to determine the impact of the proposed development on local utility infrastructure and demonstrate that there is, or can be, sufficient utilities provision to support the development and that this will not be at the expense or disadvantage of existing or other proposed development.

2.2.2 It also considers any constraints utilities infrastructure might impose on the development and how these might be mitigated or overcome.

## 2.3 ASSESSMENT METHODOLOGY

2.3.1 In carrying out this assessment, WSP|PB has undertaken the following:

- Review a 2011 Utilities Study prepared for the site by WSP (contained in Appendix B of this report), which was for a mixed use development consisting of:
  - 23 Terraced Properties;
  - 42 Semi-Detached Properties;
  - 20 Detached Properties; and
  - a 450m<sup>2</sup> Doctors Surgery.
- Obtain existing utility records and any proposed or planned utility infrastructure works through record searches and liaison with statutory undertakers;
- Estimate likely utilities loadings for the proposed development based on typical requirements for the residential dwellings as well as typical 'domestic' supply requirements (i.e. heating and amenity provision such as toilet blocks and kitchen areas servicing these types of units) for the commercial units. It is assumed that there will be no requirement for any 'abnormal' utility demands, for example to support specialist machinery or industrial processes;
- Obtain proposals from local utility providers for:
  - Supplying the development with the required utility demand; and
  - Protecting any existing infrastructure affected by the proposed development.



2.3.2 For the purpose of this assessment it is assumed that construction work will begin onsite in January 2018 with the last property requiring its utility connections by December 2020 (i.e. a 2 year build programme).

## 2.4 LIMITATIONS

2.4.1 Where up to date consultation responses are unavailable at the time of preparing this assessment, the findings of the 2011 study have been reviewed against the current proposals to determine the likely extent of works required to adequately service the proposed development being put forward for outline planning approval.

2.4.2 In 2011, the consultation responses were based on a site location plan and the proposed development mix and no site layout or access details were provided. Responses were received from Yorkshire Water (potable water), Northern Electric (electricity) and BT Openreach (telecommunications), with no response obtained from Northern Gas Network (natural gas supply).

2.4.3 P+HS' Architects indicative development layout was provided to the utility companies to allow them to formulate their new supply and diversion proposals. Their proposals might therefore be subject to change should there be a material change to the development proposals.

2.4.4 BT Openreach (BT) will not process a new supply application until after validation of the planning application.

2.4.5 Details on the existing foul and surface water drainage infrastructure within the vicinity of the site and proposals for connecting the proposed development to the local sewerage infrastructure are included in the separate WSP | Parsons Brinckerhoff Drainage Strategy Report.

# 3 EXISTING SITE

## 3.1 SITE LOCATION

- 3.1.1 The site is located on the western outskirts of Masham, North Yorkshire and is bordered on two sides by existing residential development.
- 3.1.2 Masham's town centre is located approximately 0.4km east of the site.
- 3.1.3 An approximate post code is HG4 4EL and British National Grid coordinates are 422027, 480743.

## 3.2 GENERAL SITE CHARACTERISTICS

**Table 3-1 - Characteristics of the Site**

| CHARACTERISTIC     | DESCRIPTION  |  |
|--------------------|--|--|
| Area               | 2.66 ha  |  |
| Existing Use       | The majority of the site consists of farmland with several disused farm buildings in the north eastern corner.   |  |
| General Topography | <p>A topographical survey was undertaken by CSL Surveys in June 2016 (see Appendix D). The survey shows that the land initially falls steeply (circa 1:10 gradient) away from the south west corner of the site before falling more gently (circa 1:130 gradient) towards the northeast corner of the site.</p> <p>Levels range from 96.75mAOD in the south western corner to 87.89mAOD in the north eastern corner of the site.</p> |  |
| Boundaries         | North west   | Foxholme Lane, beyond which is W E Jameson and Son Ltd, an animal feed manufacturer.   |
|                    | North east   | The Swinney Beck flows in a northwest-southeast direction along the <del>northeastern</del> north-eastern boundary of the site. Beyond the Swinney Beck lies Westholme Road and residential dwellings. Foxholme Lane and Westholme Road are connected by a small bridge over the Swinney Beck. |
|                    | East   | The Oaks, an existing residential development.   |
|                    | South and west   | Agricultural land. A small play area is directly south of the site.  |
| Access             | The site is currently accessed from Foxholme Lane in the northwest corner of the site.   |  |

# 4 EXISTING UTILITY PROVISION

## 4.1 PUBLIC UTILITY INFRASTRUCTURE

4.1.1 Utility record searches identified the following public infrastructure within the site and its immediate vicinity (refer to Appendix E for copies of the records and Appendix F for a Composite Utilities Plan):

### POTABLE WATER SUPPLY

4.1.2 A 4inch or smaller water main is located within the section of Westholme Road to the northeast of the site. At the junction of Westholme Road and Foxholme Lane the water main turns north and heads towards Fearby Road.

4.1.3 There is a network of 4inch or smaller water mains serving the residential development to the east of the site (The Oaks), including a main within an informal access track that leads from The Oaks to the edge of the site's eastern boundary. This network is fed from the water main located in Westholme Road, as described in paragraph 4.1.2 above.

### ELECTRICITY SUPPLY

4.1.4 There are 2 no. Northern Powergrid sub-stations located near to the site:

- The 'Masham Westholme' sub-station is located approximately 20m northeast of the site; and
- The 'Masham Creek' sub-station is located approximately 45m southeast of the site, next to the small play area.

4.1.5 There are a number of 11kV overhead cables that cross through the proposed development site, linking the 2 no. electrical sub-stations described above. The locations of the these cables are as follows:

- 1 no. cable from the Masham Creek sub-station enters the site in its southeast corner and crosses the southernmost part of the site in a north-westerly direction, terminating at a pole located within the southern boundary of the site;
- A further 3 no. cables enter the site from the pole described above and cross through the southern part of the site in a north-easterly direction, connecting to a pole located on the eastern boundary of the site; and
- At the eastern boundary of the site, the 3 no. cables described above go below ground and head north within the eastern boundary of the site, crossing beneath the Swinney Beck and connecting to the Masham Westholme sub-station via the northern footpath of Westholme Road.

4.1.6 A four wire overhead LV cable crosses the north-western corner of the site and provides a connection to one of the disused farm buildings. There are 3 no. poles associated with these cables; one situated on the banks of the Swinney Beck outside of the site, one next to the disused farm buildings within the site and one beyond the north west of the site, near to W.E. Jameson & Son Ltd.

4.1.7 The Oaks is served by a network of below ground electricity cables, including a cable located beneath the informal access track (linking the The Oaks to the eastern site boundary) that connects The Oaks LV network to the 11kv cables described in the 3<sup>rd</sup> bullet point of section 4.1.5.

## NATURAL GAS SUPPLY

- 4.1.8 There is a 63mm low pressure gas main located within the northern footpath of Westholme Road, increasing to a 90mm low pressure main to the north east of the site. This main serves the residential developments to the north of the site.
- 4.1.9 A network of 125mm, 90mm and 63mm diameter low pressure gas mains serve The Oaks residential development, which includes a 63mm gas main terminating within the informal access track that leads from The Oaks to the site's eastern boundary.

## TELECOMMUNICATIONS

- 4.1.10 There is a below ground duct located within the section of Westholme Road to the northeast of the site.
- 4.1.11 The residential developments to the north and east of the site are served by the below ground duct described above.
- 4.1.12 There is a below ground duct and joint box located in the vicinity of the informal access track that leads from The Oaks to the edge of the site's eastern boundary.
- 4.1.13 An overhead telecommunications cable crosses over the northwest corner of the site and provides a connection, via the existing 4 wire electricity pole located within the site (see paragraph 4.1.6), to one of the disused farm buildings in that part of the site.

## 4.2 PRIVATE UTILITY INFRASTRUCTURE

- 4.2.1 The existing site usage (agricultural land and disused farm buildings) and the public utility infrastructure described above provide no indication of any private utility infrastructure located within the site, but this will need to be confirmed by surveying the site prior to any demolition / construction works beginning.

## 4.3 POTENTIAL CAPACITY WITHIN THE EXISTING UTILITY INFRASTRUCTURE

### POTABLE WATER SUPPLY

- 4.3.1 The Yorkshire Water 'Water Resources Management Plan', dated 2014, indicates that the main water resource zone 'Grid Surface Water Zone (Grid SWZ)', which serves 99% of the Yorkshire Water region (including this site), is forecasted to have a deficit of water throughout the planning horizon of 2015 - 2040.
- 4.3.2 Yorkshire Water plans to remove this forecasted deficit by a combination of demand reduction options and the development of existing or new assets, including leakage reduction, use of an existing river abstraction licence, three new groundwater schemes and improved customer water efficiency.
- 4.3.3 Yorkshire Water has provided an interim response to the new supply application for the proposed development. Within this response they advise that "current new developments including this one will increase the properties and water demand in the area by 30%". Due to this increase in demand, Yorkshire Water are currently unable to provide an answer to the level of network infrastructure changes that would be needed to enable a water supply to be provided to this site.

### ELECTRICITY

- 4.3.4 The Proposed Development falls within an area served by two Northern Powergrid Primary Substations:

- Bedale, which according to Northern Powergrid's Demand Availability Map, has an estimated current capacity of 22MVA and a maximum estimated demand of 16.27MVA; and
- Ripon, which according to Northern Powergrid's Demand Availability Map, has an estimated current capacity of 24MVA and a maximum estimated demand of 14.4MVA.

4.3.5 Northern Powergrid have confirmed there is unlikely to be any off-site reinforcement works required to the wider network in order to provide the estimated electricity demand to development. This will need to be confirmed at the detail design stage once the construction programme and phasing of the proposed development has been agreed.

#### NATURAL GAS SUPPLY

4.3.6 The 2011 Utilities Study did not include any correspondence from Northern Gas Network.

4.3.7 The 2017 new supply response from Northern Gas Networks did not indicate the requirement for any offsite reinforcement works, from which it is inferred that the network can sufficiently supply the site.

#### TELECOMMUNICATIONS

4.3.8 No information is currently available on the capacity of the existing telecommunication network around the proposed development.

4.3.9 BT Openreach's website, on fibre optic availability, states that a fibre optic connection could be made available to the proposed development from an exchange off Red Lane in central Masham, located approximately 280m to the east of the site.

# 5 IMPACTS ON EXISTING UTILITIES

## 5.1 EXISTING SUPPLIES TO BE DECOMMISSIONED

5.1.1 The existing electricity and telecommunication supplies (paragraphs 4.1.6 and 4.1.13), as well as any un-identified private utility connections to the disused farm buildings will need to be decommissioned as part of the demolition of these buildings.

## 5.2 POTENTIAL DIVERSION REQUIREMENTS

5.2.1 The remaining existing public utilities infrastructure identified within the site will need to be retained as part of the proposed development. Therefore the following infrastructure will potentially be affected by the development proposals:

- The overhead and below ground 11kv electricity cables located in the southern and eastern parts of the site will need to be diverted around the proposed residential development;
- The overhead 4 wire electricity cables crossing over the northwest corner of the site will need to be diverted around the proposed commercial development; and
- The existing below ground potable water, natural gas, electricity and telecommunications infrastructure located within the vicinity of the informal access track between The Oaks and the eastern boundary of the site could require local lowering / protecting as part of forming the new residential site access.

5.2.2 Based on the proposed commercial site layout and location of the existing telecommunication infrastructure, the existing overhead telecommunication cable crossing the northwest corner of the site can be retained without any diversionary works being required.

## 5.3 RESPONSES FROM PUBLIC UTILITY PROVIDERS

5.3.1 WSP|PB contacted the potentially affected suppliers to obtain their confirmation of the suitability of the proposals and potential impact on their infrastructure.

5.3.2 The 2011 enquiries did not include the location of the proposed residential access route through The Oaks. Therefore, the utility suppliers did not advise on any potential diversion / protection works in this area.

5.3.3 It is also unlikely that the current indicative development layout (provided in the latest enquiries to the utility suppliers) will be sufficiently detailed to allow them to provide a scope of works for protecting their infrastructure within the proposed residential access route.

5.3.4 Therefore, all of the affected suppliers (Yorkshire Water, Northern Powergrid, Northern Gas Network and BT Openreach) will need to be re-consulted during the detail design of the proposed residential site access to agree the extent of any required diversionary/protection works.

5.3.5 In the absence of up to date consultation responses, the 2011 diversion/protection responses received at the time have been summarised below (see Appendix B of the 2011 Utility Study):

### YORKSHIRE WATER

- 5.3.6 The 2011 consultation response stated that no water main diversions (beyond what might be required to accommodate the new development access) would be required to accommodate the proposed development.

### NORTHERN POWERGRID

- 5.3.7 Northern Powergrid have incorporated the diversion of the overhead and below ground 11kV & LV electricity cables that currently cross the site as part of connecting the proposed development mix to the local low voltage underground distribution system.
- 5.3.8 The eventual route of the proposed diversion works will be dictated by the detailed site layout, but will likely follow the route of the onsite highway network as this will provide Northern Powergrid with the future easement and access they will require for maintenance works.
- 5.3.9 Northern Powergrid will therefore need to be re-consulted at the detail design stage (i.e. once the development layout is fixed) to agree the final route and resulting scope of works for the on-site diversion works.

### BT OPENREACH

- 5.3.10 BT would not provide any confirmation in 2011 as to whether any diversionary / protection works would be required to their infrastructure as the site did not have planning permission.
- 5.3.11 BT will therefore need to be re-consulted during the detailed design of the commercial site layout to confirm whether their existing infrastructure can be accommodated without any diversionary/protection works being required.

# 6 NEW UTILITY SUPPLIES

6.1.1 The existing site usage (agricultural land and disused farm buildings) means that new potable water, electricity, natural gas and telecommunication supplies will need to be brought onto the site to support the proposed development.

6.1.2 To allow the local utility providers to design the layout of the new onsite infrastructure, connection points to the existing infrastructure and establish whether there is sufficient spare capacity to supply the proposed development, the following information have been provided as part of the latest enquiries:

- An indicative development layout produced by P+HS Architects;
- Estimated utilities loadings for the proposed development; and
- An approximate start date for works onsite (January 2018) and construction programme (it is assumed the last property will require its utility connections by December 2020, i.e. a 2 year build programme).

6.1.3 Responses have been received from Yorkshire Water, Northern Powergrid and Northern Gas Networks; a summary of their responses is indicated in the following section and full details are contained within Appendix C.

## 6.2 POTABLE WATER SUPPLY

6.2.1 As highlighted in section 4.3.1 above, Yorkshire Water are predicting a current deficit in potable water in the planning horizon of 2015 - 2040.

6.2.2 Yorkshire Water has provided an interim response to the new supply application for the proposed development. Within this response they advise that “current new developments including this one will increase the properties and water demand in the area by 30%”. Due to this increase in demand, Yorkshire Water are currently unable to provide an answer to the level of network infrastructure changes that would be needed to enable a water supply to be provided to this site.

6.2.3 This is to be investigated and assessed by Yorkshire Water as part of their response to the overall 30% increase in demand and it is understood that all such similar development proposals in the region are being responded to in the same manner. Yorkshire Water indicated that the resolution of these investigations may take some time and advised that this matter should be followed up around August 2017 to obtain an update on their progress.

6.2.4 At this stage, Yorkshire Water are unable to confirm whether development contributions may be required to support these network improvements, or whether Yorkshire Water can obtain the necessary funding in the current AMP6 period (2015 to 2020) or subsequent funding periods. They are also unable to confirm what the programme will be for delivering these improvements to specific areas within the water supply zone.

## 6.3 ELECTRICITY SUPPLY

6.3.1 Northern Powergrid has stated that the indicative development layout can be supplied by extending the existing local low voltage underground distribution system into the site.

6.3.2 In producing this design, Northern Powergrid confirmed there is unlikely to be any off-site reinforcement works required to the wider network in order to provide the estimated electricity



demand to development. This will need to be confirmed at the detail design stage once the construction programme and phasing of the proposed development has been agreed.

## **6.4 NATURAL GAS SUPPLY**

- 6.4.1 Northern Gas Networks have supplied a proposal for providing a new supply to the development site, which does not include any requirement for the upgrading or modification of the offsite gas infrastructure.
- 6.4.2 The Northern Gas Network proposal does not indicate where their preferred method of connection for the development from their network would be located, but existing gas supplies are present in both Westholme Road and The Oaks.

# 7 CONCLUSIONS

## 7.1 EXISTING INFRASTRUCTURE

- 7.1.1 There is extensive potable water, natural gas, electricity and telecommunications infrastructure located within Westholme Road and the residential developments to the north and east of the site.
- 7.1.2 Existing overhead and below ground electricity cables, as well as a single overhead telecommunication cable currently cross through parts of the site. Some parts of this infrastructure currently provide electricity and telecommunication supplies to disused farm buildings located in the northwest corner of the site.

## 7.2 ALTERATIONS TO THE EXISTING INFRASTRUCTURE

- 7.2.1 The proposed development will result in the existing disused farm buildings in the northwest corner of the site being demolished. Therefore, the telecommunications, electricity and any previously un-identified private supplies to these buildings will need to be decommissioned as part of the demolition works.
- 7.2.2 The remaining overhead and below ground electricity cables identified within the site will need to be retained as part of the proposed development. Northern Powergrid have stated that these cables can be diverted below ground and incorporated into the development's new electricity supply network.
- 7.2.3 The exact extent of these diversion/protection works will be agreed with Northern Powergrid at the detailed design stage once the layout of individual residential / commercial plots and highway layouts have been finalised.
- 7.2.4 The 2011 enquiries did not include the location of the proposed residential access route through The Oaks. Therefore, the utility suppliers did not advise on any potential diversion / protection works in this area.
- 7.2.5 It is also unlikely that the current indicative development layout (provided in the latest enquiries to the utility suppliers) will be sufficiently detailed to allow them to provide a scope of works for protecting their infrastructure within the proposed residential access route.
- 7.2.6 Therefore all the affected suppliers (Yorkshire Water, Northern Powergrid, Northern Gas Network and BT Openreach) will need to be re-consulted during the detail design of the proposed residential site access to agree the extent of any required diversionary/protection works.

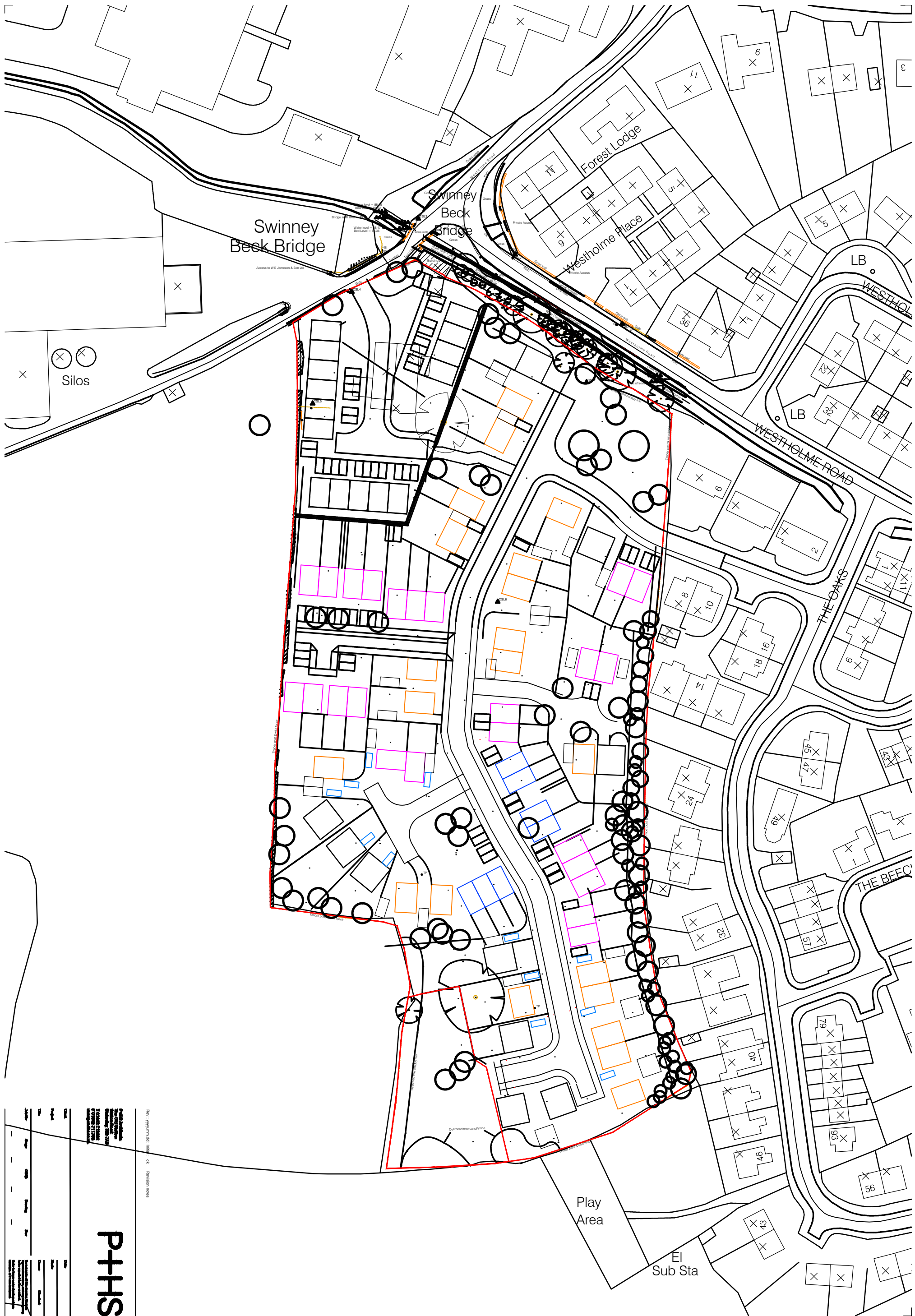
## 7.3 NEW UTILITY SUPPLY REQUIREMENTS

- 7.3.1 The existing site usage (agricultural land and disused farm buildings) means that new potable water, electricity, natural gas and telecommunication supplies will need to be brought onto the site to support the proposed development.
- 7.3.2 It is likely that these new supplies will be constructed as an extension to the existing infrastructure currently supplying The Oaks residential development to the east of the site, so as to avoid constructing new infrastructure across the Swinney Beck watercourse.

- 7.3.3 Yorkshire Water has provided an interim response to the new supply application for the proposed development. Within this response they advise that “current new developments including this one will increase the properties and water demand in the area by 30%”. Due to this increase in demand, Yorkshire Water are currently unable to provide an answer to the level of network infrastructure changes that would be needed to enable a water supply to be provided to this site.
- 7.3.4 Yorkshire Water will, as part of their response to the overall 30% increase in demand, investigate all such similar development proposals in the region and the resolution of these investigations may take some time, with a progress update expected to be available in August 2017. Northern Powergrid have confirmed there is unlikely to be any off-site reinforcement works required to the wider network in order to provide the estimated electricity demand to the proposed development. This will need to be confirmed at the detail design stage once the construction programme and phasing of the proposed development has been agreed.
- 7.3.5 Northern Gas Networks have supplied a quote to provide a new supply to the development site, which does not include for any requirement to undertake any offsite network improvements.
- 7.3.6 BT would not provide any confirmation on the layout of the new telecommunication supply to the site until the proposed development has planning permission, so they will need to be re-consulted at the detail design stage to agree a scope of works.

# Appendix A

**P+HS ARCHITECTS' DEVELOPMENT LAYOUT**



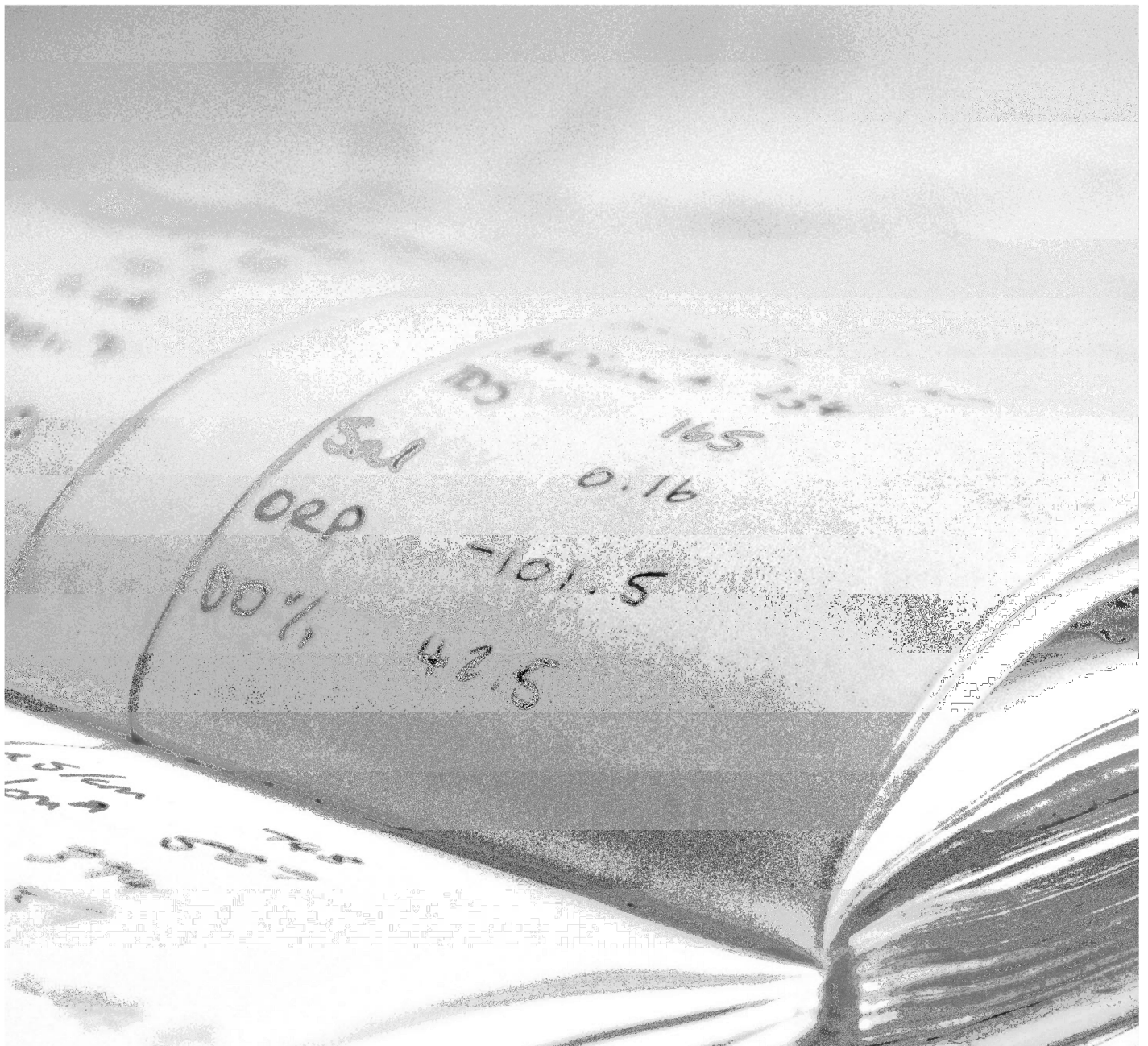
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PHHS

| Rev | Date       | Description   |
|-----|------------|---------------|
| 01  | 2023/05/15 | Initial Issue |
| 02  | 2023/05/15 | Revised       |
| 03  | 2023/05/15 | Revised       |
| 04  | 2023/05/15 | Revised       |
| 05  | 2023/05/15 | Revised       |
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# Appendix B

**WSP'S 2011 REPORT "WESTHOLME ROAD, MASHAM – UTILITIES  
STUDY"**



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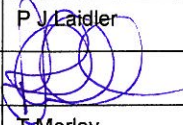


Westholme Road, Masham

G.E. Jameson

Utilities Study

March 2011

# QM

| Issue/revision | Issue 1   | Revision 1 | Revision 2 | Revision 3 |
|----------------|---|------------|------------|------------|
| Remarks        | -   |            |            |            |
| Date           | March 2011  |            |            |            |
| Prepared by    | P J Laidler   |            |            |            |
| Signature      |    |            |            |            |
| Checked by     | T Morley  |            |            |            |
| Signature      |    |            |            |            |
| Authorised by  | T Morley  |            |            |            |
| Signature      |    |            |            |            |
| Project number | 11171019  |            |            |            |
| File reference | S:\Westholme<br>Road,<br>Masham\TEXTR<br>EPORTS\UTILITI<br>ES<br>STUDY\110316<br>Westholme Road<br>Stats Report-<br>ISSUE 1-CLIENT<br>COPY.docx |            |            |            |

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## **Appendices**

**Appendix A    Site Information**

**Appendix B    Estimated Utility Demands**

**Appendix C    Utility Service Records and Correspondence**

# Executive Summary

This document reports on the preliminary Utility Services Study undertaken for a proposed development on land to the west of Westholme Road in Masham, North Yorkshire.

Examination of the record drawings obtained shows that there are existing utility services in the region of the development site that may require diversion. In addition there are existing utility services within Westholme Road that are likely to be affected by proposed site works. Detailed on-site surveying and investigation and the detailed design of the layout and proposed highway works would be required to confirm the exact extent of the diversionary works.

There is an existing water supply and drainage provision, gas, electricity and telecommunications infrastructure in the vicinity of the site. Initial enquiries have shown that the site can be serviced with gas, water, electric and telecommunications supplies with some diversionary work and off site upgrading. Some of the existing utility networks can be simply extended into the site, whilst others require some network upgrading and offsite works.

This report has demonstrated that the development can be satisfactorily connected to the existing utility networks. The costs of the works required to connect the development into the existing system are not currently anticipated to be prohibitive although a more detailed masterplan proposal is required to provide accurate costs for connections.

# 1 Introduction

## **1.1 APPOINTMENT AND BRIEF**

- 1.1.1 WSP were commissioned to undertake a Preliminary Utility Services Study for a proposed development to land adjacent to Westholme Road, Masham.

## **1.2 OBJECTIVE OF STUDY**

- 1.2.1 The objective of the study was to identify existing utility services affected by the proposed development, obtain initial proposals for any major diversion / protection of the services affected and obtain proposals for the new supply of utilities to the development.

## **1.3 STUDY METHODOLOGY**

- 1.3.1 The study is based on pre-planning consultation and existing network information. Pre-planning consultation has been undertaken with utility companies to obtain (where possible) preliminary proposals for servicing the new development, including reinforcements, disconnections, decommissioning or replacement of existing apparatus. The study process consisted of a desk based investigation and data research.

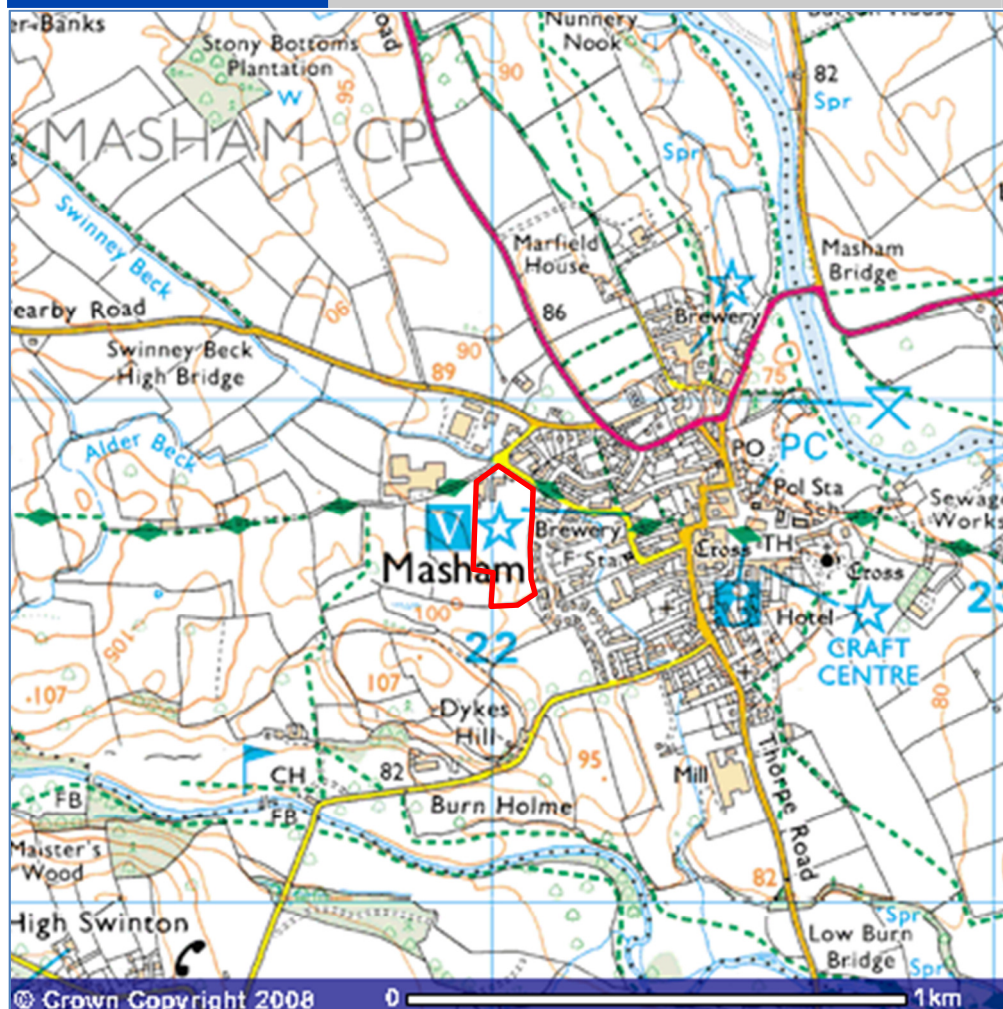
## **1.4 LIMITATIONS**

- 1.4.1 Utility searches were undertaken to obtain the information for electricity, gas, water supply, telecommunications and drainage relating to the companies and bodies listed in the following chapters of this report.
- 1.4.2 The information that has been provided to WSP was received over a period of several months beginning in January 2011. The utility providers have stated that their proposals and apparatus records are valid for a restricted time period only and should not be relied upon beyond the defined time limits.
- 1.4.3 Consultation with the relevant utility companies has been based on an aerial image of the site identifying the site boundary in red (refer to Appendix A).
- 1.4.4 Preliminary utility service demands have been calculated based on an assumed housing density and considering the requirements of a potential doctors surgery. These outline demand estimates have been used as a basis for the new supply enquiries and are presented in Appendix B.
- 1.4.5 Pre-planning enquiries have been made to the relevant utility companies. The particulars of the discussions are contained within Appendix C. Where possible, outline development layouts have been provided to the utility providers.
- 1.4.6 Costs provided by the utility companies are for the provision of infrastructure to the development. Additional connection charges to individual buildings / meter points could be levied by the utility companies. Any such further charges should be confirmed with the final utility supplier at the detailed design stage.

## 2 Site Information

### 2.1 SITE DETAILS

|                          |  |
|--------------------------|--|
| <b>Site Address</b>      | <b>Westholme Road, Masham, North Yorkshire.<br/>Approximate post code : HG4 4EX</b>  |
| <b>OS Grid Reference</b> | SE 532 091   |
| <b>Size</b>              | Approximately 2.7ha  |
| <b>Site Location</b>     | The site is located to the east of the A1M and to the north of the town of Westholme Road, north of Doncaster. A site location plan is shown below (Figure 1). |
| <b>Current Site Use</b>  | The subject site is currently a greenfield site with the north-western corner currently being the location for several barns.                                  |



**Figure 1 – Site Location Plan**

Reproduced from the Ordnance Survey Map with the permission of the controller of her Majesty's Stationery Office. Licence Number 100016037. Crown Copyright Reserved.

### 2.2 SITE DESCRIPTION

2.2.1 The site is an irregularly shaped greenfield plot approximately 2.7 hectares in size. The site is bounded by Westholme Road to the north, existing residential



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development to the east and fields to the south and the west. To the east is the town of Masham.

- 2.2.2 The site falls from a level of around 97m in the south-western corner of the site to around 88m AOD to the north-eastern corner.
- 2.2.3 The northern boundary of the site, and to the south of Westholme Road, is the Swinney Beck which flows towards the east.



## 3 Water Supply and Drainage

### 3.1 CONTACT DETAILS

| Existing Supply Network   | New Supply Network  |
|---|---|
| Developer Services<br>Customer Service & Networks<br>Yorkshire Water Services Ltd<br>PO Box 52<br>Bradford<br>BD3 7YD<br><br>Contact: Helen Cristanthou<br>Tel: 01274 608 008 | Developer Services<br>Customer Service & Networks<br>Yorkshire Water Services Ltd<br>PO Box 52<br>Bradford<br>BD3 7YD<br><br>Contact: Helen Cristanthou<br>Tel: 01274 608 008 |
| Foul Drainage   | Surface Water Drainage  |
| Yorkshire Water Services<br>Developer Services<br>Sewerage Technical Team<br>PO Box 52<br>Bradford<br>BD3 7AY<br><br>Contact: Kashif Khan<br>Tel: 0845 120 8482               | Yorkshire Water Services<br>Developer Services<br>Sewerage Technical Team<br>PO Box 52<br>Bradford<br>BD3 7AY<br><br>Contact: Kashif Khan<br>Tel: 0845 120 8482               |
|   |   |

### 3.2 EXISTING DRAINAGE

- 3.2.1 WSP have obtained record drawings from Yorkshire Water (YW) for the area of the site. This record information is contained within Appendix C.
- 3.2.2 Currently the site is predominantly green field. Towards the north-western corner there are areas of hardstanding and barn structures which are outside the site and owned by others. It is thought that these areas of hardstanding drain to the Swinney Beck to the north although no information has been received showing any formal below ground drainage network.
- 3.2.3 The record drawings indicate the following infrastructure:
- No sewers or water mains have been identified entering into the site boundary.
  - Swinney Beck, an existing watercourse is present between the northern boundary of the site and Westholme Road.



- A 225mm diameter foul sewer in Westholme Crescent which serves Westholme Crescent and extends upstream as far as Fearby Road.
- A 225mm diameter foul sewer which serves the existing residential area to the east of the site and runs along the Oaks towards the south.
- The foul drainage discharges to the Masham Waste Water Treatment Works some 950m to the east of the site on the banks of the River Ure. In 2008 YW commented that the existing WWTW did not have sufficient capacity for the development and that some upgrading works may be required. As part of this exercise WSP have re-consulted with YW to determine who have verbally confirmed that the waste water treatment works has sufficient capacity to accept foul flows from the proposed development.

### **3.3 EXISTING WATER SUPPLY**

- 3.3.1 WSP have obtained record water supply network drawings from YW for the area of the site. This record information is contained within Appendix C.
- 3.3.2 The record drawings indicate the following infrastructure:
- Existing water supply infrastructure is present in Westholme Road to the north and in The Oaks to the east of the site.

### **3.4 OTHER WATER INFRASTRUCTURE / FEATURES**

- 3.4.1 The existing Swinney Beck watercourse is present to the northern boundary of the site.

### **3.5 DIVERSIONS**

- 3.5.1 YW records show that there are no public sewers within the boundary of the site, and therefore no public sewers to divert within the site boundary.
- 3.5.2 YW require the detailed horizontal and vertical alignment design for the proposed development in the region of the existing water mains to assess the impact and diversion requirements.
- 3.5.3 Similarly detailed horizontal and vertical alignment design for the development in the region of the existing foul sewer would be required to assess the impact and costs for diversions.

### **3.6 NEW SUPPLIES AND CONNECTIONS**

#### **FOUL DRAINAGE**

- 3.6.1 YW have confirmed that the foul flows from the development should discharge to the existing 225mm diameter sewers in The Oaks (approximately 35m from the site) or in Westholme Crescent (approximately 75m from the site). The mechanics of making the connection are likely to require a requisition sewer via Yorkshire Water and agreement with the highways authority.
- 3.6.2 YW have noted that, if sewage pumping is required foul water discharges must not exceed 6 (six) litres per second. As a result, it may be necessary to provide storage in the proposals.



- 3.6.3 Yorkshire Water have verbally confirmed that, as no limitation has been placed on the site relating to limited capacity of the receiving WWTW, and that a connection point has been provided, there is sufficient available capacity (at this time) to receive foul flows from the proposed development. WSP have requested written confirmation of this which is currently awaited.

#### **SURFACE WATER DRAINAGE**

- 3.6.4 YW have confirmed that the local public sewer network does not have capacity to accept and discharge of surface water from the proposed site. All surface water flows shall be discharged to the local water courses with the prior consent of the riparian owner.
- 3.6.5 The Swinney Beck is located to the north of the site and YW suggest that this is used as a location to discharge surface water flows.
- 3.6.6 Discussions have taken place with the EA to confirm discharge of surface water. These discussions have identified that:
- SUDS shall be used where practicable
  - Discharge of surface water shall be to the existing Swinney Beck to the north of the site
  - Discharge will be restricted to 1.4 l/s/ha
- 3.6.7 Attenuation volumes required are estimated to be between 350 and 510m<sup>3</sup> for a 30 year storm and 690 to 940m<sup>3</sup> for a 100 year plus 30% climate change storm.
- 3.6.8 The use of infiltration SUDS will be dependent on the sub-soil conditions and in particular, the permeability of the soil.
- 3.6.9 Soil permeability test should be undertaken as part of the detailed design process to confirm the extent and suitability of infiltration SUDS elements. It is anticipated that some infiltration will occur although this may not be sufficient to fulfil the overall drainage requirements.
- 3.6.10 Where infiltration SUDS is not technically viable, non-infiltration SUDS would be incorporated which would still provide attenuation and pollution treatment.
- 3.6.11 A hierarchical approach to the SUDS system would be used with treatment train features incorporated as follows:
- Permeable paving in car parking areas
  - Filter trenches to drain hardstanding areas
  - Swales – where these can be incorporated into the landscape areas

#### **WATER SUPPLY**

- 3.6.12 In accordance with YW requirements, a pre-planning enquiry has been submitted using the YW standard enquiry, together with details of the proposed development masterplanning layout.
- 3.6.13 YW have responded to the pre-planning enquiry and have confirmed that water can be supplied to the site from existing water mains in Westholme Road.





3.6.14 YW currently do not anticipate a requirement for reinforcements or mains diversions to supply the site.

### **3.7 FUTURE IMPLICATIONS**

3.7.1 Further consultation with YW will be required during the detailed design process to confirm budget quotations and lead in times for any diversions, new supply requirements and connections to existing infrastructure.

3.7.2 YW may require a copy of the site investigation report to determine water supply pipe type requirements.

3.7.3 YW verbally confirmed that typical lead in times for the procurement of new supplies is 9 weeks. However, this can vary depending on the nature and scope of a development and workload. It is recommended that YW's lead in time is established closer to implementation of the scheme.



## 4 Gas

### 4.1 CONTACT DETAILS

| Existing Network  | New supply  |
|---|---|
| Northern Gas Networks<br>1 <sup>st</sup> Floor<br>1 Emperor Way<br>Doxford International Business Park<br>Sunderland<br>SR3 3XR | Fulcrum<br>Carr House<br>Greasbrough Road<br>Rotherham<br>S61 4QQ |
| Contact: Sandra Collett<br>Tel: 0845 634 0508   | Contact: TBC<br>Tel: TBC  |

### 4.2 EXISTING SERVICES

- 4.2.1 WSP have obtained record drawings from Northern Gas Networks (NGN) for the area of the site. This record information is contained within Appendix C.
- 4.2.2 The response has identified that there are gas mains in the region of the site and include:
- A 63mm to 90mm diameter low pressure gas main in Westholme Road which serves Forest Lodges, Westholme Place and Westholme Crescent.
  - 125mm, 90mm and 63mm diameter low pressure gas mains are present in The Oak residential estate. A 63mm gas supply is present within an informal access track that leads from The Oaks to the edge of the site boundary.
  - A development named The Beeches is served by an alternative gas supplier other than NGN.

### 4.3 DIVERSIONS

- 4.3.1 The utility drawings provided identify that there are no gas mains within the site boundary and no major gas main diversion works required.
- 4.3.2 Localised diversions / protection works may be required depending on the proposed highways access.

### 4.4 NEW SUPPLIES AND CONNECTIONS

- 4.4.1 A formal application for a new gas supply has been made via a gas supplier, Fulcrum Connections.



4.4.2 Fulcrum has provided an indicative price quotation for a gas supply to the site. This identifies that the indicative price for gas supply up to the Emergency Control Valve and for gas meter installation is **£46,994.15**. This price includes for laying new mains and services to the individual properties. The price is indicative and subject to VAT and will need to be firmed up once a detailed design is requested.

#### **4.5 FUTURE IMPLICATIONS**

4.5.1 Further consultation with NGN will be required during the detailed design process to confirm budget quotations and lead in times for any diversions in relation to the proposed highway works and to address the requirements with regard to easements and land for the gas governor.

4.5.2 Similarly, further consultation with the final preferred gas supplier will be required during the detailed design process to confirm quotations and lead in times for the new supply to the site.



# 5 Electricity

## 5.1 CONTACT DETAILS

| Existing Network      | Future Supply          |
|-----------------------|------------------------|
| CE Electric UK (NEDL) | NEDL                   |
| Network Connections   | Cargo Fleet Lane       |
| PO Box 329            | Middlesbrough          |
| Middlesbrough         | TS3 8DG                |
| TS3 8DG               |                        |
| Contact: TBC          | Contact: Louise McCabe |
| Tel: 0845 070 2703    | Tel: 0845 070 2703     |
|                       |                        |

## 5.2 EXISTING SERVICES

5.2.1 WSP have obtained record drawings from NEDL for the area of the site. This record information is contained within Appendix C.

5.2.2 The record drawings indicate the following infrastructure:-

- 11kV overhead cables running within the site boundary and crossing the site from a point halfway along the eastern site boundary to a location in the south western part of the site. From the location on the eastern boundary the cables are below ground and are shown to run within and parallel to the site boundary existing the site via the northern site boundary. Along this route a spur exits through the eastern development boundary and serves the adjacent residential area named The Oaks.
- Below ground 11kV cables are present within both footways of Westholme Road to the north of the site.
- A four wire overhead LV cable route crosses the north-western corner of the site in the region of the existing barns.
- An electrical substation (Masham Westholme) is present outside the site boundary on the northern side of Westholme Road.
- An electrical substation (Masham Creek) is present outside of the southern site boundary near the existing play space.
- An electrical substation (Masham Foxholme) is present outside the western site boundary and serves the Factory unit.

## 5.3 DIVERSIONS

5.3.1 YEDL has reviewed the site and identified that it may be necessary to divert the existing HV and LV overhead and underground assets that cross the site.

5.3.2 However, if the existing cables can remain in their current position, an easement agreement will need to be reached between the cable asset owner (CE Electric) and the eventual owner of the land.



- 5.3.3 The exact route and location of all cables should be confirmed and assessed against the proposed layout to identify diversion requirements during the detailed design process.
- 5.3.4 CE Electric would require the detailed horizontal and vertical alignment design for the proposed works to assess the impact and diversion requirements for existing electricity cables within the site boundary.
- 5.3.5 The quote below, provided by NEDL, includes for the diversion of the existing overhead and below ground cables. A breakdown of costs (i.e. diversion and new supply) has been requested.

#### **5.4 NEW SUPPLIES AND CONNECTIONS**

- 5.4.1 A formal application for a new electricity supply has been made via an electricity supplier, CE Electric.
- 5.4.2 A response from NEDL, part of CE Electric identifies that the indicative cost for the provision of the new or modified connection is **£275,000**. This indicative quote includes for the diversion of NEDL's existing HV and LV overhead and underground assets that cross the site, the extension of the existing LV underground distribution system around the site and brench off these cables with ad direct service to each property. In providing the connection NEDL have identified that the diversions will need to be undertaken first.

#### **5.5 FUTURE IMPLICATIONS**

- 5.5.1 Further consultation with CE Electric will be required during the detailed design process to confirm budget quotations and lead in times for diversions, new supply requirements and connections to existing infrastructure.
- 5.5.2 The exact location of the existing electricity cables should be determined on site and reviewed against the proposed layout to assess whether or not the cables can be left in place, thereby avoiding significant diversions costs.



## 6 Telecommunications

### 6.1 CONTACT DETAILS

| Existing Network   |                | New Supply         |               |
|--------------------|----------------|--------------------|---------------|
| Openreach Newsites |                | Openreach Newsites |               |
| PP 100C            |                | PP 100C            |               |
| 21 Chapel Street   |                | 21 Chapel Street   |               |
| Manchester         |                | Manchester         |               |
| M3 7BA             |                | M3 7BA             |               |
| Contact:           | Sandra Collett | Contact:           | Kay Eames     |
| Tel:               | 0845 634 0508  | Tel:               | 0800 731 7208 |
| Fax:               |                | Fax:               | 01332 578 997 |

### 6.2 EXISTING SERVICES

6.2.1 WSP have obtained record information from Openreach, a BT Group business, for the area of the site. This information is contained within Appendix C.

6.2.2 The record drawings indicate the following infrastructure:-

- Below ground communications lines along Westholme Road.
- Above and below ground routes are present in Foxholme Lane (which serves the existing factory and properties.
- Additional telecommunication lines serve the existing residential development of The Oaks.

### 6.3 DIVERSIONS

6.3.1 Subject to the arrangement of the masterplan proposals it may not be necessary to divert the existing BT network as all primary routes are within the adoptable / adopted highway.

6.3.2 A formal application for a new telecommunication connection has been made to Openreach.

### 6.4 NEW SUPPLIES AND CONNECTIONS

6.4.1 New supplies to proposed developments involve the provision of ducts and draw pits within the site infrastructure construction. BT and other companies would then utilise this infrastructure to provide the utility service.

6.4.2 Openreach have confirmed that they cannot provide a quote for provision of telecommunications services to the site until a detailed masterplan has been provided.



## **6.5 FUTURE IMPLICATIONS**

- 6.5.1 Further consultation with BT and any other telecommunication suppliers will be required during the detailed design process to confirm proposals and lead in times for any diversions, new supply requirements and connections to existing infrastructure.
- 6.5.2 BT would typically require at least 3 months' notice prior to the commencement of works.
- 6.5.3 BT have verbally confirmed that prior to any works, a specification and detailed estimate will be required which will need the submission of a detailed masterplan and a sufficiently accurate anticipated programme for the development.
- 6.5.4 The exact location of any telecommunications apparatus should be determined on site and reviewed against the proposed layout to assess whether or not the cables can be left in place, thereby avoiding diversions costs.



## 7 Other Infrastructure

### 7.1 OTHER INFRASTRUCTURE

7.1.1 Further enquiries with other utility providers has been undertaken including oil and fuel infrastructure. The Linesearch.org report is contained within Appendix C together with responses from other consultees.

7.1.2 The enquiries have confirmed that site is not in the zone of interest for:

- AboveNet Communications UK
- BOC Limited (a member of the Linde Group)
- BP Exploration Purbeck Southampton Pipeline
- BPA
- Cable & Wireless Worldwide
- Centrica Energy
- Colt Apparatus
- ConocoPhillips (UK) Ltd
- ConocoPhillips Ltd Humber Refinery
- Coryton Energy Co Ltd (Gas Pipeline)
- E-on UK Plc (Gas Pipelines Only)
- Easynet Telecom
- Energetics Design & Build
- Envoy Asset Management limited
- ESP Gas Group Ltd
- Esso Petroleum Company Limited
- Fibrenet UK Ltd
- FibreSpan Ltd
- FibreSpeed Ltd
- Gamma Telecom
- Genesys
- Geo Networks Limited
- Global Crossing (UK) Ltd, Global Crossing PEC
- Government Pipelines & Storage System
- Ineos Manufacturing (Scotland and TSEP)
- Ineos Enterprises Limited
- Interoute / Plancast
- KCOM





- 
- KPN Europe NGS Apparatus
  - KPN Eurorings
  - Mainline Pipelines Limited
  - Manchester Jetline Limited
  - Marchwood Power Ltd (Gas Pipeline)
  - NPower CHP Pipelines
  - National Grid Gas and Electricity Transmission
  - Oikos Storage Limited
  - Orange PCS
  - Premier Transmission Ltd (SNIP)
  - SABIC UK Petrochemicals
  - Scottish Power Generation Ltd
  - Serco Civil Government
  - Shell UK Ltd
  - Star Energy
  - Tata Communications
  - Telent
  - Total UK (Finaline, Colnbrook and Colwick Pipelines)
  - Verizon Business (Formally known as MCI World Com MFS)
  - Virgin Media
  - Wingas Storage UK Ltd



## 8 Summary

### 8.1 EXISTING UTILITY INFRASTRUCTURE

8.1.1 Examination of the record drawings obtained shows that the following utility services are present within the site or close to the site boundary:-

- Foul sewers in The Oaks to the east and in Westholme Crescent to the north of the site that discharges to the local Masham Waste Water Treatment Works
- No surface water sewers exist in the area that have capacity to serve the site. Swinney Beck watercourse to the north of the site should be used for discharge of surface water at a restricted rate.
- Water supply infrastructure is present in Westholme Road and The Oaks residential estate.
- Low pressure gas distribution in the existing residential developments to the north of the site in Westholme Road and to the east of the site in The Oaks.
- 11kV overhead cables running within the site boundary and crossing the site
- Below ground cables within and parallel to the eastern site boundary.
- A spur exits the site through the eastern development boundary to serve the adjacent residential area named The Oaks.
- Below ground 11kV cables are present within both footways of Westholme Road to the north of the site.
- A four wire overhead LV cable route crosses the north-western corner of the site in the region of the existing barns.
- An electrical substation is present outside the site boundary on the northern side of Westholme Road.
- Below ground telecommunications routes in Westholme Road and The Oaks
- Above and below ground telecommunications routes in Foxholme Lane

8.1.2 The detailed horizontal and vertical alignment of the highway works would be required to fully assess the impact on existing utility apparatus and required diversion works.

### 8.2 NEW UTILITY SUPPLIES

8.2.1 There is an existing water supply and drainage, gas, electricity and telecommunications infrastructure in the vicinity of the site. Some of the existing utility networks can be simply extended into the site, whilst others require some network upgrading.

8.2.2 Foul flows from the site can be connected to the existing public sewers in either The Oaks or Westholme Crescent. Due to existing topography it may be necessary to pump foul flows to the point of discharge.

8.2.3 Yorkshire Water have verbally confirmed that the existing WWTW has sufficient capacity to accept flows from the proposed development.



8.2.4 Surface water flows shall be attenuated prior to a restricted discharge of 1.4 l/s/ha to the existing Swinney Beck with attenuation storage provided on site.

### **8.3 BUDGET ESTIMATES**

8.3.1 Some of the utility companies have supplied budget estimates for diversion, upgrading and new supply works. It should be noted that further information on detailed layout and surveyed locations of existing infrastructure, is required by some of the utility service companies to provide budget quotations.

8.3.2 Costs provided by the utility companies are for the provision of infrastructure to the development. Additional connection charges to individual buildings / meter points could be levied by the utility companies. Any such further charges should be confirmed with the final utility supplier at the detail design stage.

### **8.4 FURTHER WORK**

8.4.1 During the detailed design process non-intrusive and intrusive site investigation and survey work should be undertaken to confirm the route, depth and location of all existing utilities affected by the works. Detailed design of the diversion requirements can then be undertaken through liaison with the relevant utility companies.

8.4.2 The service demand requirements should be revisited once further details on the layout and fit out requirements of the buildings are known. Further consultation with the utility providers should then be undertaken to confirm estimates for new supply and lead in times.

### **8.5 CONCLUSION**

8.5.1 The proposed development may require diversion of existing utilities. Detailed on site survey and investigation is required to determine the full extent of the diversion requirements. From responses received from the utility providers electric is the only service that requires major diversions. The costs provided in this document include for these diversions. Minor diversions may be required to facilitate access to the site.

8.5.2 Water supply, foul and surface water drainage, gas, electricity and telecommunications infrastructure is present within the vicinity of the site. Initial enquiries have shown that the site can be serviced with some diversionary work and off-site upgrading.



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## Appendices, Figures & Tables



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Appendix A

Site Information



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## Existing Site



KEY



TITLE  
WESTHOLME ROAD, MASHAM

FIGURE No:  
SITE BOUNDARY

0 0.01 km  
Google



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## Appendix B





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# Estimated Utility Demand Calculations



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## **Estimated Utility Demand Calculations**

### **Introduction**

Indicative demand calculations have been prepared for water supply, gas and electric supply for the following range and numbers of residential properties:

- 23 Terraced properties
- 42 Semi-detached properties
- 20 Detached properties
- 450m<sup>2</sup> doctors surgery

### **Cold Water Supply**

Using BS6700 it is estimated that a demand of 15 l/s is required for the proposed development.

### **Gas Main Supply**

It has been assumed that the terraced and semi-detached properties require 26kW of energy and the detached properties have a requirement for 30kW. It has also been assumed that the doctors surgery requires 100 W/m<sup>2</sup> which, assuming a floor areas of 450m<sup>2</sup> requires 45kW. Therefore there is a total gas supply requirement of 2335 kW peak load.

The annual load has been estimated at 3,409,100 kWh / year.

### **Electrical Supply**

It has been assumed that each residential property requires an average of 2 kW of energy and the doctors' surgery requires 100kW. Therefore the estimated total electrical supply requirement is 270 kW.



---

# Estimated Attenuation Calculations

**Scenario 1** – Assume 1.4 l/sec/ha (discharge = 3.78l/sec) and 30 year storm

| Variables                |   |
|--------------------------|---|
| FSR Rainfall             | Cv (Summer) 0.750                       |
| Return Period (years) 30 | Cv (Winter) 0.840                       |
| Region England and Wales | Impermeable Area (ha) 1.080             |
| Map                      | Maximum Allowable Discharge (l/s) 3.8   |
| M5-60 (mm) 19.000        | Infiltration Coefficient (m/hr) 0.00000 |
| Ratio R 0.373            | Safety Factor 2.0                       |
|                          | Climate Change (%) 0                    |

**Results**

**Global Variables require approximate storage of between 353 m<sup>3</sup> and 508 m<sup>3</sup>.**

**These values are estimates only and should not be used for design purposes.**

Quick store estimate (WinDes v12) = 353 to **508m<sup>3</sup>**

.....

Scenario 2 – Assume 1.4 l/sec/ha and 100 year+CC storm

| Variables                 |   |
|---------------------------|---|
| FSR Rainfall              | Cv (Summer) 0.750                       |
| Return Period (years) 100 | Cv (Winter) 0.840                       |
| Region England and Wales  | Impermeable Area (ha) 1.080             |
| Map                       | Maximum Allowable Discharge (l/s) 3.8   |
| M5-60 (mm) 19.000         | Infiltration Coefficient (m/hr) 0.00000 |
| Ratio R 0.373             | Safety Factor 2.0                       |
|                           | Climate Change (%) 30                   |

**Results**

**Global Variables require approximate storage of between 686 m<sup>3</sup> and 940 m<sup>3</sup>.**

**These values are estimates only and should not be used for design purposes.**

Quick store estimate (WinDes v12) = 686 to **940m<sup>3</sup>**

.....



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Appendix C

Utility Service Records  
and Correspondence



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# Water Supply

## **YORKSHIRE WATER PROTECTION OF MAINS AND SERVICES - CLEAN WATER**

1. Please note the positions of clean water apparatus shown on the enclosed plans are believed to be correct. However, Yorkshire Water (YW) will accept no responsibility in the event of any inaccuracy or omission. The actual position of such apparatus and that of service pipes which have not been indicated must be established on site by contacting the Customer Helpline (0845 124 24 24) for water and (0845 124 24 29) for sewerage.
2. To enable future repair works to be carried out without hindrance; any pipe, cable, duct, etc. installed parallel to a water main or service pipe should not be installed directly over or within 300mm of a water main or service pipe. Where a pipe, cable, duct, etc. crosses a main or service it should preferably cross perpendicular or at an angle of no less than 45° and with a minimum clearance of 150mm. These requirements apply to activities within an existing highway and are relevant to the installation of pipes, cables, ducts, etc. up to and including 250mm in diameter. Necessary protection measures for installations greater than 250mm in diameter and/or in private land will need to be agreed on an individual basis.  
Installations within a new development site must comply with the National Joint Utilities Group publication Volume 2: NJUG Guidelines On The Positioning Of Underground Utilities Apparatus For New Development Sites.
3. All excavation works near to YW apparatus should be by hand digging only.
4. Backfilling with a suitable material to a minimum 300mm above YW apparatus is required.
5. If surface levels are to be decreased/increased significantly the effects on existing apparatus will be carefully considered and if any alterations are necessary, the costs of the alterations will be recharged to you in full. Outlets on fire hydrants must be no more than 300mm below the new levels and all surface boxes must be adjusted as part of the scheme.
6. Adequate support must be provided where any works pass under YW apparatus.
7. Jointing chambers, lighting columns and other structures must be installed in such a way that future repair or maintenance works to YW apparatus will not be hindered.
8. Apparatus such as; railings, sign posts, etc. must not be placed in such a way that they prevent access to or full operation of controlling valves, hydrants or similar apparatus. Care must also be taken not to bury or cover chamber lids for similar reasons.
9. Explosives shall not be used within 100 metres of any Yorkshire Water Services apparatus or installations.
10. Vibrating plant should not be used directly over any apparatus.
11. **Under no circumstances** should thrust boring or similar trenchless techniques commence until the actual position of the Company's mains/services along the proposed route have been confirmed by trial holes.
12. Any alterations to the highway should be notified following the procedures outlined in the New Road and Street Works Act 1991 Code of Practice; Measures Necessary Where Apparatus Is Affected By Major Works (Diversionsary Works).
13. Should YW incur any costs as a result of non-compliance with the above, all costs will be rechargeable in full.
14. In accordance with the New Roads and Street Works Act 1991, Chapter 22, Part 3, Section 80. The location of any identified YW asset "*which is not marked, or is wrongly marked, on the records made available*" should be communicated back to Yorkshire Water. The location of the apparatus should be identified on copies of the supplied plans which should be returned to Yorkshire Water with photographic supporting



evidence where possible.

Please note that the information supplied on the enclosed plans is reproduced from Ordnance Survey material with the permission of the Ordnance Survey on behalf of the Controller of Her Majesty's Stationery Office, © Crown Copyright. Unauthorised reproduction infringes Crown Copyright and may lead to prosecution or civil proceedings. Licence Number 1000019559

## **YORKSHIRE WATER PROTECTION OF MAINS AND SERVICES - WASTE WATER**

1. The position of Yorkshire Water Services Ltd (YWS) apparatus shown on the existing mains record drawing(s) indicates the **general** position and nature of our apparatus and the accuracy of this information cannot be guaranteed. Any damage to YWS apparatus as a result of your works may have serious consequences and you will be held responsible for all costs incurred. Prior to commencing major works, the exact location of apparatus must be determined on site, if necessary by excavating trial holes. The actual position of such apparatus and that of service pipes which have not been indicated must be established on site by contacting the Customer Helpline (0845 124 24 24) for water and (0845 124 24 29) for sewerage.

2. The public sewer network is lawfully retained in its existing position and the sewerage undertaker is entitled to have it remain so without any disturbance. The provisions of section 159 of the Water Industry Act 1991 provides that the sewerage undertaker may "inspect, maintain, adjust, repair or alter" the network. Those rights are given to enable the sewerage undertaker to perform its statutory duties. Any development of the land or any other action that unacceptably hindered the exercise of those rights would be unlawful.

3. Sewers in highways will **generally** be laid to give 1200mm of cover from finished ground level working to kerb races, other permanent identification of the limits of the road or to an agreed line and level. Substantial increases or decreases to this 1200mm depth of cover will result in the sewer being re-laid at your expense.

4. All excavation works near to YWS apparatus should be by hand digging only.

5. Backfilling with a suitable material to a minimum 300mm above YW apparatus is required.

6. To enable future repair works to be carried out, a minimum clearance of 1000mm must be maintained where any works or services are installed adjacent to YWS apparatus and a minimum clearance of 150mm where any works or services cross the apparatus.

7. Adequate support must be provided where any works pass under existing YWS apparatus.

8. Jointing chambers, lighting columns and other structures must not be installed in such a way that future repairs to YWS apparatus are hindered.

9. YWS surface boxes must not be covered or buried. Any adjustment, alteration or replacement of manhole covers must be agreed on site prior to the commencement of the works with a YWS Inspector who may be contacted via our Call Centre on 0845 124 24 29.

10. Explosives must not be used within 100 metres of YWS apparatus or installations and vibrating equipment should not be used directly over any apparatus.

11. Ground levels over existing YWS apparatus are to be maintained.

12. Movement or operation by vehicles or heavy plant is not to be permitted in the immediate vicinity of YWS plant or apparatus unless there has been prior consultation and, if necessary, adequate protection provided without cost to YWS.

13. You will be held responsible for any damage or loss to YWS apparatus during and after completion of work, caused by yourselves, your servant or agent. Any damage caused or observed to YWS plant or apparatus should be immediately reported to YWS.













14. You should ensure that nothing is done on the site to prejudice the safety or operation of YWS employees, plant or apparatus.

15. In accordance with the New Roads and Street Works Act 1991, Chapter 22, Part 3, Section 80. The location of any identified YW asset "*which is not marked, or is wrongly marked, on the records made available*" should be communicated back to Yorkshire Water. The location of the apparatus should be identified on copies of the supplied plans which should be returned to Yorkshire Water with photographic supporting evidence where possible.







Please note that the information supplied on the enclosed plans is reproduced from Ordnance

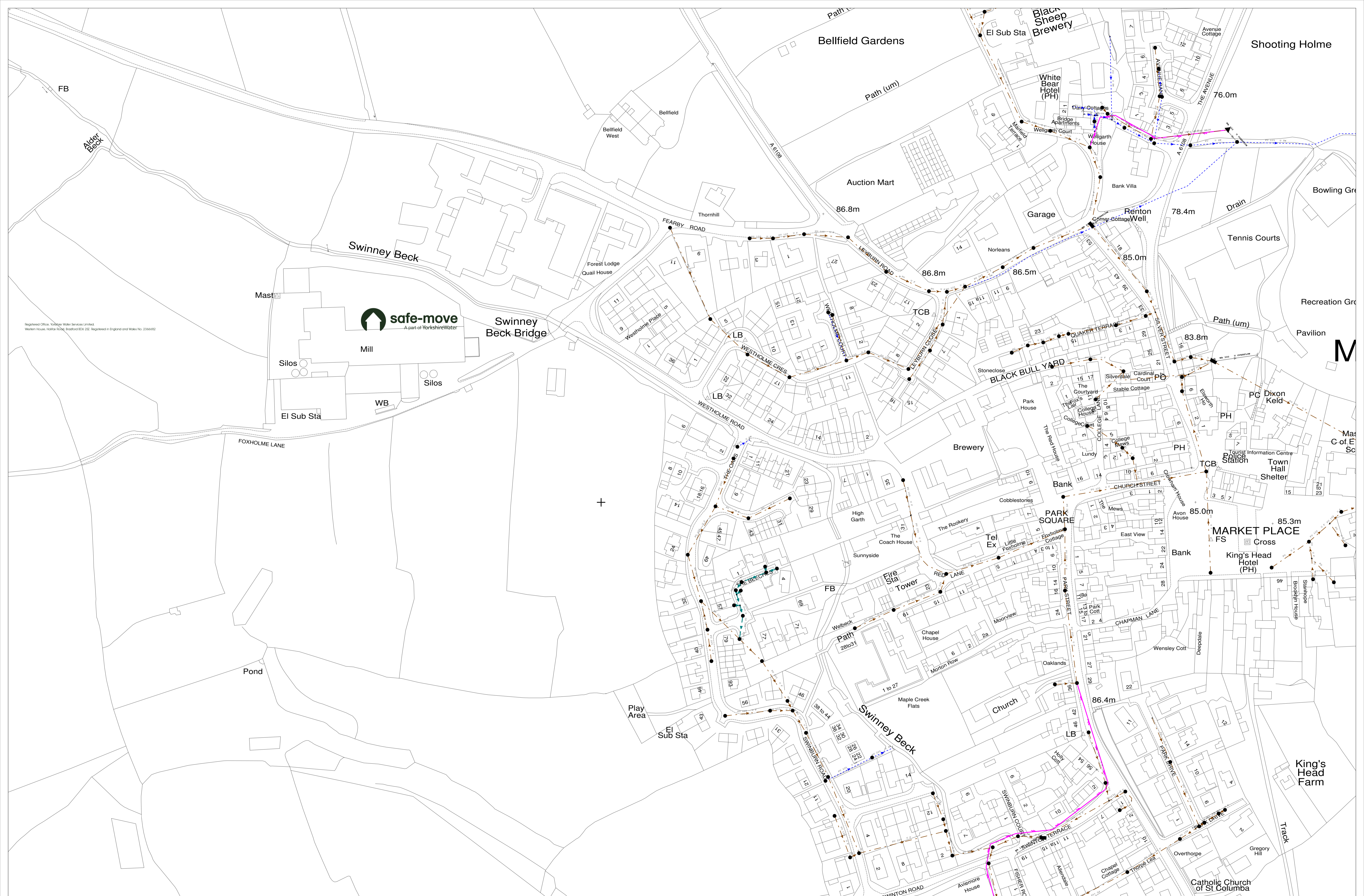
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## Sewer Legend

|   |                               |  |                             |
|---|-------------------------------|--|-----------------------------|
|    | Combined Sewer                |    | S24 Combined Sewer          |
|    | Surface Water Sewer           |    | S24 Surface Water Sewer     |
|    | Foul Sewer                    |    | S24 Foul Sewer              |
|    | Section 104 Sewer             |    | Public Rising Main          |
|   | Pumping Station               |    | Abandoned Sewer             |
|  | Public Sewage Treatment Works |  | Syphon Sewer & Vacuum Sewer |
|   | +                             |  | Property Identifier         |

## Water Legend

|   |                         |
|---|-------------------------|
|  | Water Main 4" and below |
|  | Water Main 4" and above |
|  | Raw Water Main          |
|  | Private Water Main      |
|  | Fire Hydrant            |
|  | Pumping Station         |

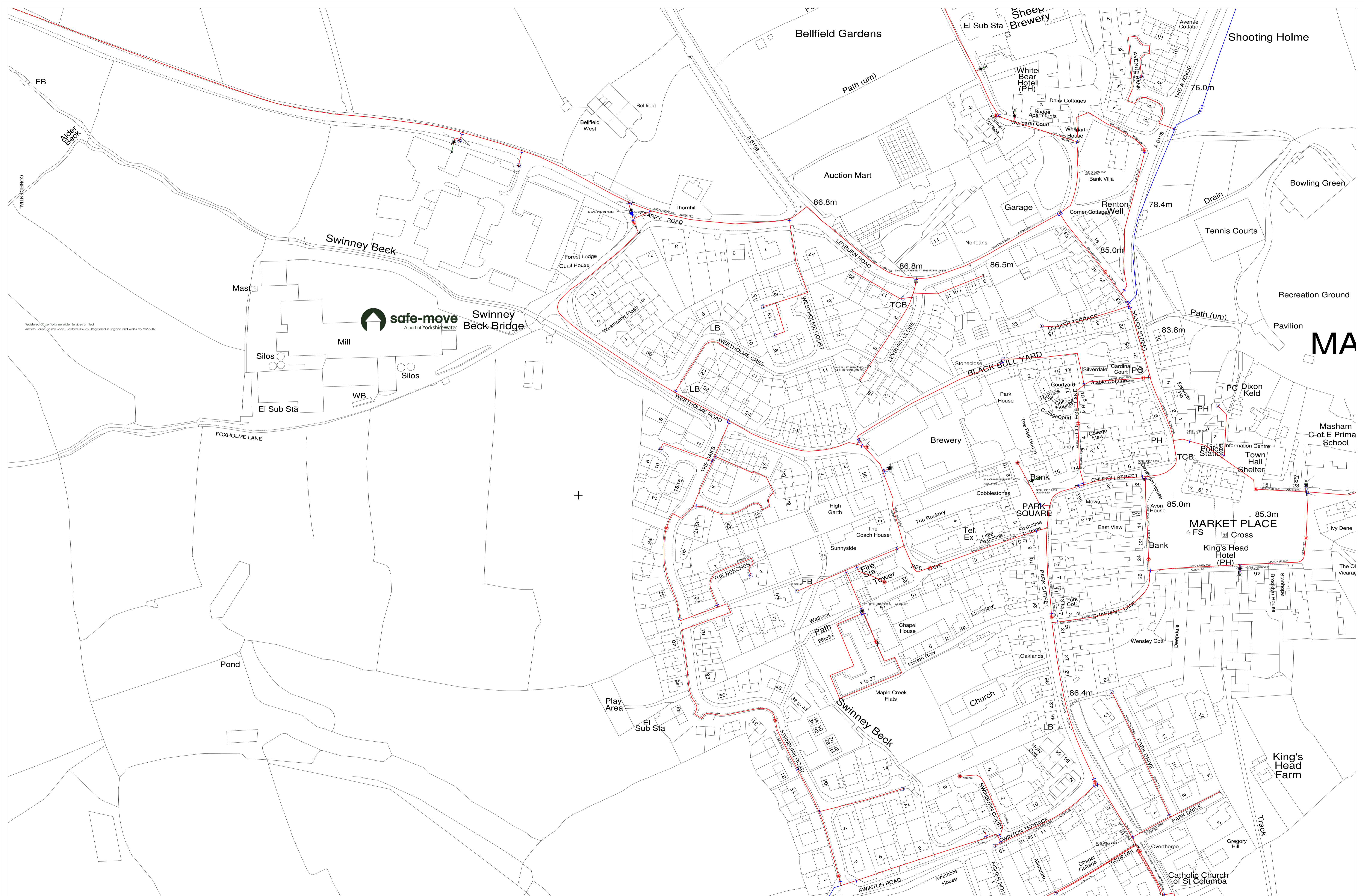


Registered Office: Yorkshire Water Services Limited  
 Western House, Halifax Road, Bradford BD5 2JZ. Registered in England and Wales No. 2366802

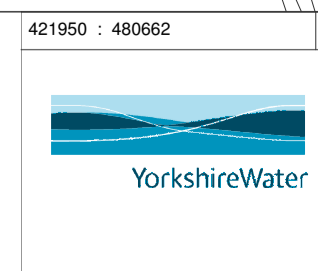


Mill  
 Silos  
 WB

|  |   |   |  |
|--|---|---|--|
| 421933 : 480667  | Map Name : SE21805E   | Title   | Partial Key  |
|  | Yorkshire Water,<br>PO Box 500,<br>Halifax Road,<br>Bradford BD6 2LZ<br>Contact Name :<br>Thomas Garside<br>Contact Tel : | Notes   | Foul Sewer - F<br>Contaminated Sewer - C<br>Surface Water Sewer - SW<br>Trade Sewer - TD<br>Partially Separated - PS |
| <small>© Crown Copyright and Database Right. All rights reserved. Ordnance Survey Licence number 100019599</small> |   | Date Req : 19/01/2011, 08:29:08<br>Source : Sewer Network Enquiry | Date Gen : 19/01/2011, 08:29:08  |



Registered Office: Yorkshire Water Services Limited  
Western House, Vicarage Road, Bradford BD5 2JZ. Registered in England and Wales No. 2366882



Map Name: SE2180SE  
Yorkshire Water,  
PO Box 500,  
Hallifax Road,  
Bradford BD6 2LZ  
Contact Name:  
Thomas Garside  
Contact Tel:

Title  
Notes  
Partial Key  
Water mains over 4" in diameter  
Water mains  
Private water mains  
Scale: 1:1250  
Dwg No:  
Date Req: 19/01/2011, 08:30:05  
Source: Water Network Enquiry

The position and depth of apparatus shown on this plan are approximate only. The exact positions and depths should be obtained by excavation trial holes.  
Scale: 1:1250  
Dwg No:  
Date Req: 19/01/2011, 08:30:05  
Date Gen: 19/01/2011, 08:30:22  
Source: Water Network Enquiry

Our ref: 71019/PJL/Preplanning Enquiry

20<sup>th</sup> January 2011



Yorkshire Water  
New Supplies  
Water Service Centre  
Yorkshire Water Services  
P.O. BOX 52  
Bradford  
BD3 7YD

**WSP Development and  
Transportation**

Three White Rose Office Park  
Millshaw Park Lane  
Leeds  
LS11 0DL

Tel: +44 (0)113 395 6200  
Fax: +44 (0)113 395 6201  
<http://www.wspgroup.com>

WSP Group plc  
Offices worldwide  
[www.wspgroup.com](http://www.wspgroup.com)

Dear Sir/Madam

**WESTHOLME ROAD, MASHAM  
UTILITIES STUDY**

WSP has been commissioned to undertake a Utilities / Development Constraints study to accompany an LDF allocation application for a proposed residential development off Westholme Road in Masham, North Yorkshire. Please find attached a site location plan; the Grid Reference for the site is SE 532091 and approximate post code HG4 4EX.

The proposed development is subject to change, but is likely to consist of approximately 85 residential units and a 4840sq.ft doctors surgery.

Please can you provide information on the following:

1. Details of any water mains in the vicinity of the site together with any associated restrictions in development;
2. An estimation of the cost to divert these water mains;
3. Any spare capacity within the existing system and when this capacity would become a constraint to development;
4. Works and costs required to provide the sites with a water supply; and,
5. Any other information you consider relevant to the site.

I have raised a Purchase Order for the enquiry for which the number is **P-UK-1139-82983**. Please quote this on your invoice and forward to the following address;

WSP UK Ltd  
WSP UK CPL  
PO Box 240  
Leeds  
LS11 1ED  
UK

Continued...

Should you have any queries or require any further information, please do not hesitate to contact me.

Yours faithfully,

A handwritten signature in blue ink, consisting of several overlapping loops and a trailing line.

**Paul Laidler**  
**Principal Engineer**  
DDI: 0113 395 6302

Encs    Completed Development Enquiry Request form  
          Site Location Plan  
          Payment reference





# Development Enquiry Request

Water availability assessment for  
a proposed new development

**V4**

**For office use only**

Centre: 19075

Nominal: 1301

Ref: AF1

YorkshireWater

## Development Enquiry Request

Please complete this form in black ink and block capitals if you require information regarding our ability to supply water to a proposed development usually at land purchase stage. We will provide the following in response to your enquiry:

- Information about our ability to supply water to your site
- A copy of our mains records for the area
- Details of any diversions or additional work required on our network in order to supply the demand you require
- Indicative costs for any diversions or additional work on our water network
- Details of whether the development can be fed by gravity or will require pumps/storage

You will receive a response within 10 days of our receipt of your enquiry; there is a charge of **£81.59 + VAT** for this service. Please indicate below if you are paying by cheque or by credit/debit card.

If you simply require a copy of our mains and/or drainage records for the area, rather than a detailed assessment of our ability to supply water to a site, these can be obtained on line from Safe Move at [www.safe-move.co.uk](http://www.safe-move.co.uk) or contact 0800 1385385.

For enquiries please call us on **01274 608008**  
You can fax information to us on **01274 303046**  
E-mail: [wbu.servicecentre@yorkshirewater.co.uk](mailto:wbu.servicecentre@yorkshirewater.co.uk)  
[www.safe-move.co.uk](http://www.safe-move.co.uk)

Method of payment (please tick)  
 Cheque  
 Credit / debit card

PURCHASE  
ORDER.

Calls are recorded for monitoring purposes. Some credit cards will incur a bank handling fee. The amount varies depending on your provider.

### 1 Applicant's details

Company name (if applicable)

WSP DEVELOPMENT & TRANSPORTATION

Address for correspondence

THREE WHITE ROSE OFFICE PARK

MILLSHAW PARK LANE

LEEDS

Postcode LS11 0DL

Contact name

MR PAUL LAIDLER

Daytime telephone number (including dialling code)

0113 395 6302

Mobile phone number

-

Fax number (including dialling code)

-

E-mail address

paul.laidler@wspgroup.com

### 2 Details of the proposed development

Site address

WEST HOLMES ROAD

MASHAM

NORTH YORKSHIRE

Postcode HG4 4EX

Grid reference

Easting (6 figures) 421947

Northing (6 figures) 480801

### 3 Details of the proposed development

Number of domestic properties

85

Maximum number of floors (including the ground floor)

3

If you require a separate firefighting supply for domestic properties please complete section 5.

## Development Enquiry Request

### 4 Commercial properties

Number of commercial properties/units 1 Maximum height to supply water to (in metres) 10 m

Do you require water for domestic purposes (ie kitchen and toilet facilities for staff)?  Yes  No

Do you require water for a manufacturing process or commercial purposes (ie food preparation)?  Yes  No

Please indicate the flows required for manufacturing or commercial purpose in litres per second 10/s

Please tell us briefly what you are planning to build on this site (ie offices, retail, hotel, commercial units, restaurant, industrial, warehouse).

### 5 Water required for fire fighting purposes

Do you require water specifically for fire fighting purposes?  Yes  No

Type of fire fighting supply required (sprinkler, fire hydrant etc) \_\_\_\_\_

Please indicate the flow required for fire fighting in litres per second \_\_\_\_\_

Yorkshire Water will, if requested, confirm if we are likely to be able to meet the flows and pressures for any proposed fire fighting installation(s). Where the required flows and pressures can be achieved Yorkshire Water cannot guarantee that they can be sustained in the future. A decision to feed a fire fighting supply direct from Yorkshire Water's mains network is the sole responsibility of the customer. Yorkshire Water will not accept any liability for future expenses that may be incurred because of changes in the water mains pressures or available flows due to increased customer demands or any necessary reconfiguration or adjustments to the distribution network.

### 6 Sewerage enquiries

For applications and enquiries for drainage connections please contact us on **0845 1 24 24 29**.

### 7 Why is there a charge for this service?

There is a charge of £81.59 + VAT for this service, this covers the cost of the investigative work we undertake in order to determine if we can supply the demand you require and highlight any exceptional work required to connect you to the network.

### 8 How do I pay?

You can pay either by cheque or by credit/debit card, please indicate your payment method on the opposite page. If you wish to pay by cheque please enclose a cheque payable to 'Yorkshire Water Services Ltd' with your application. If you wish to pay by debit/credit card, we will contact you on receipt of this form to arrange payment over the phone. Some credit cards will incur a bank handling fee. The amount varies depending on your provider. Your enquiry request will only be processed once payment is received.

### 9 What Information do I need to supply with my enquiry?

To ensure you have provided all the information required to provide a full response to your enquiry please complete the checklist below:

Fully completed all relevant sections of this form

Enclosed a site plan at a scale no smaller than 1:2500 clearly indicating the site boundary and proposed entrance

Clearly indicated at the beginning of this form if you are paying by cheque or credit/debit card

Enclosed payment of £81.59 + VAT (if paying by cheque) payable to Yorkshire Water Services Ltd

Sign and complete the declaration below

We will respond within 10 days of receipt of your enquiry. In some cases, more detailed investigation and site testing is required which may mean your response will take longer than 10 days, if this is the case we will call you and let you know.

**WE WILL BE UNABLE TO CARRY OUT A SURVEY WITHOUT THIS INFORMATION**

### 10 Declaration

I hereby request a new water supply to the new development detailed above, I understand that if my request changes, Yorkshire Water will charge for the additional work and my installation may be delayed.

Your signature



Date

20/1/2011

Your name and title (in capitals)

MR. P.J. LAUDER

Role in organisation (if signing on behalf of a company)

PRINCIPAL ENGINEER

Please return this completed form with the information indicated above to:  
Developer Services Yorkshire Water Services Ltd PO Box 52 Bradford BD3 7YD  
Or you can fax it to us on 01274 303046

**yorkshirewater.com**

Yorkshire Water Services Limited  
Western House Halifax Road Bradford BD6 2SZ  
Registered in England and Wales No.2366682

C5033-form5-04/10



KEY



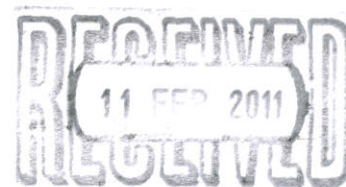
TITLE  
WESTHOLME ROAD, MASHAM

FIGURE No:  
SITE BOUNDARY

0 0.01 km  
Google



YorkshireWater



WSP Development & Transportation  
P Laidler  
3 White Rose Office Park  
Millshaw Park Lane  
Leeds  
LS11 0DL

Developer Services  
Customer Service & Networks  
Yorkshire Water Services  
PO Box 52  
Bradford  
BD3 7YD

T 01274 608008  
F 01274 303046  
E [wbu.servicecentre@yorkshirewater.co.uk](mailto:wbu.servicecentre@yorkshirewater.co.uk)  
W [www.yorkshirewater.com/extra-services](http://www.yorkshirewater.com/extra-services)

10 February 2011

Our Ref J186983  
Your Ref

Dear Mr Laidler,

**Water Availability Assessment for a proposed new development at: 85 proposed dwellings at Westholme Road, Masham, HG4**

Thank you for your recent development enquiry regarding the above site. Based on the information you have provided regarding the proposed development we have detailed below our assessment of the ability to supply water to the site.

**1. Supplying water to the development site**

Yes, we are able to provide water to your development site, this can be supplied from Westholme Road.

**2. Details of any mains reinforcement work or mains diversions**

There are no mains reinforcements or mains diversions required to supply this development.

**3. Details of whether the development can be fed by gravity or will require pumps/storage**

This development can be supplied by gravity.

This assessment is based upon the information available to Yorkshire Water at the present time. The requirements for mains reinforcement work may change between now and your application for a water supply where an application for increased demand on the local water network has been received from other new developments.

I have attached a copy of our mains records local to the site. Please note that our records only show water mains and that individual service pipes and other privately owned apparatus are not shown. Caution should therefore be exercised when carrying out excavation works near to our apparatus.



Should you wish to proceed with your application for a water supply, please complete the enclosed Application Form and Contaminated Land Assessment Questionnaire (where applicable). Please note there is a fee of £101.24 (inc. VAT) payable on application. This is to pay for our costs in surveying the site and providing a quotation for the cost of your connection.

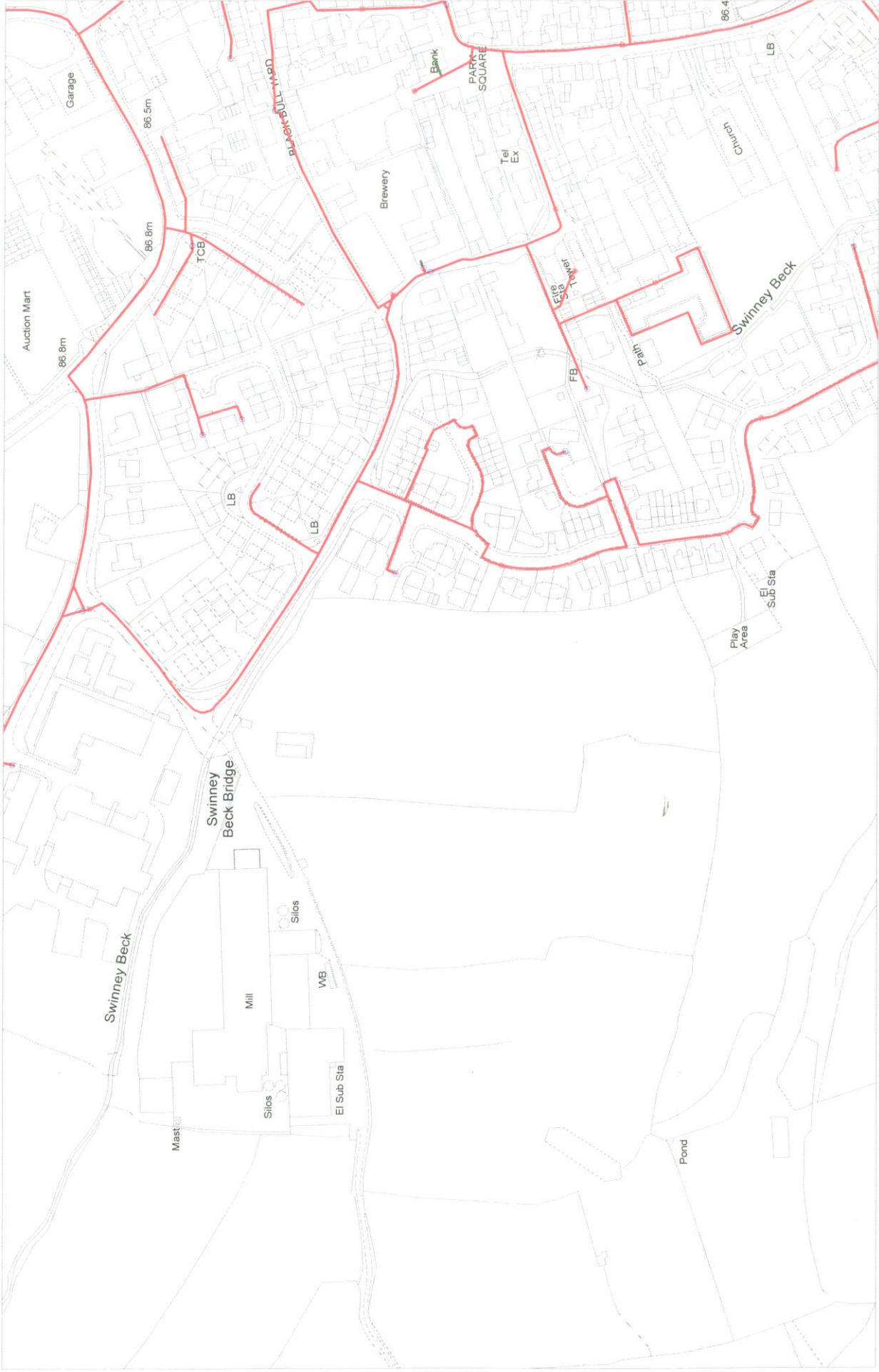
If you require details regarding the hardness/ softness of the water in the area, these can be obtained from the YW internet site at [www.yorkshirewater.com](http://www.yorkshirewater.com).

In the meantime if I can be of any further assistance, please contact me on the above number. When contacting us about this enquiry please quote reference number **J186983** this will enable us to find your enquiry and deal with any queries promptly.

Yours sincerely



Helen Chrisanthou  
New Supplies Technician



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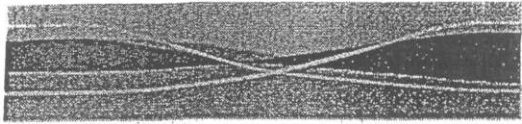
Copyright for additional data shown on this map may rest with: British Geological Survey, Natural England, Environment Agency, Natural Environment Research Council, The MET Office, DEFRA, George Philip Ltd., Royal Mail, Cranfield University and Yorkshire Water.

Date Printed : 10/02/2011, 11:19:07

Scale : 1:3086

Originator: H Aury, New Supplies & Water Regulations, 89 407





# YorkshireWater

## Contaminated Land Assessment Form

Please complete the form below to allow us to assess the risk of contamination of the drinking water supply from chemicals within the soil. Yorkshire Water now lays all its water mains and service pipes in plastic. Many organic compounds (i.e. Phenols, Fuels and other hydrocarbons) can either permeate through the walls of plastic pipes into the water supply or dissolve and weaken the pipe causing water leaks.

The table in section 3 lists the contaminants which can damage our pipes in this way and the levels at which they pose a risk to the water supply. Where soil analysis shows levels of these contaminants to be above the triggers levels shown Yorkshire Water will designate that all water mains and service pipes shall be laid in a suitable barrier pipe (e.g. Protectaline). Where sites have previously been used for any of the activities listed in section 2 all water mains and service pipes shall be laid in a suitable barrier pipe as standard. This is because these activities pose a high risk of containing such contaminants.

Yorkshire Water has a duty of care to its customer's to prevent any potential contamination of the water supply and will designate the use of barrier pipe where we believe there is any risk of contamination.

### 1. Your Details

Company Name

Contact Name

Site Address

Contact Number

Postcode

### 2. The Previous Use of the Site

Please indicate below the previous uses of the site being developed

Please indicate if the site (or part of it) has previously been used for any of the following activities:

- |   |  |
|---|--|
| <input type="checkbox"/> Chemicals Manufacture            | <input type="checkbox"/> Paint or Ink Manufacture          |
| <input type="checkbox"/> Explosives/ Ordnance Manufacture | <input type="checkbox"/> Railway Land/ Railway Engineering |
| <input type="checkbox"/> Fuel Filling Stations/ storage   | <input type="checkbox"/> Scrap Metals                      |
| <input type="checkbox"/> Metal Finishing/ Treating        | <input type="checkbox"/> Shipbuilding & Repair             |
| <input type="checkbox"/> Mechanical Engineering Works     | <input type="checkbox"/> Vehicle Repair Garages            |
| <input type="checkbox"/> Oil & Gas Refineries/ Storage    | <input type="checkbox"/> Vehicle Manufacturing             |

### 3. Contaminants

Please complete the table below to let us know of the level of any contaminants which could damage our water pipes and contaminate the water supply. Figures should be provided in milligrams per Kilogram (mg/Kg). If you have more than 4 test results please enter these on a copy of the table below and return with your application.

| Contaminant (mg/Kg)                    | Trigger Levels (mg/Kg) | Sample No.<br>..... | Sample No.<br>..... | Sample No.<br>..... | Sample No.<br>..... |
|--|------------------------|---------------------|---------------------|---------------------|---------------------|
| Chlorinated Phenols                    | 10                     |                     |                     |                     |                     |
| Chlorinated Aromatic Hydrocarbons      | 20                     |                     |                     |                     |                     |
| Diesel Range Organics (DRO)            | 100                    |                     |                     |                     |                     |
| Petrol Range Organics                  | 100                    |                     |                     |                     |                     |
| Phenol(s)                              | 10                     |                     |                     |                     |                     |
| Polycyclic Aromatic Hydrocarbons (PAH) | 100                    |                     |                     |                     |                     |
| Total Petroleum Hydrocarbons (TPH)     | 100                    |                     |                     |                     |                     |

Yorkshire Water is interested in the six groups of contaminants requested in the table above. These compounds should be shown on most soil reports. Nevertheless, some soil reports show the concentrations of individual chemicals within 3 of the groups. Where this occurs please provide the value of the chemical within that group with the highest concentration. We have shown below the chemicals that are found in these 3 groups.

| <i>Chlorinated Phenols</i> | <i>Chlorinated Aromatic Hydrocarbons</i> | <i>Polycyclic Aromatic Hydrocarbons</i> |
|----------------------------|--|---|
| Chlorophenols              | Chlorobenzene                            | Napthalene                              |
| Dichlorophenols            | Dichlorobenzene                          | Anthracene                              |
| Trichlorophenols           | Trichlorobenzene                         | Phenanthrene                            |
| 2,4,6 trichlorophenols     | Pentachlorobenzene                       | Flouranthene                            |
| pentachlorophenol          |  | Pyrene                                  |
|                            |  | Benzopyrene                             |

**Do Not** include a copy of your soil report with your application, if you do not complete the table above your application will be returned to you.

#### 4. Remediation of the Site

Please indicate below any remediation work that will be undertaken on the site to remove/ mitigate the effect of any contaminants identified in the soil report. Please include the nature and depth of any remediation work.

|  |
|--|
|  |
|  |
|  |
|  |
|  |
|  |

#### 5. Can I use standard plastic pipe if I undertake Remediation Works?

Yes, as long as the remediation work either removes the contaminated soil or reduces the level of contaminants below the trigger levels. Moving contaminated material so that it is under roads and footpaths is not acceptable as this is the likely location of the water mains.

As water mains are laid to a depth of 0.9metres to the top of the pipe, any contaminated soil to a depth of 1.3metres must be removed. We will require post remediation sampling results confirming contamination has fallen below the trigger levels prior to releasing any works to our contractors.

If contamination is found all water mains and services on the site must be laid in protectaline pipe. Yorkshire Water will not change the agreed mains material after the agreement has been signed by both parties. So please ensure your remediation proposals are made clear at this stage.

#### 6. Declaration

I hereby confirm that the information provided in this form is true and I understand that should the site conditions change from those indicated in this report that I may incur additional costs.

Your signature

Date

Your name & title (in capitals)

Role in organisation

Please return this completed form with your application to Developer Services, Yorkshire Water Services Ltd  
PO Box 52, Bradford BD3 7YD



Application for a Water Connection  
to a Housing Development

**VA**  
**For office use only**  
Centre: 19075  
Nominal: 1301  
Ref: AF2

YorkshireWater

## Application for a Water Connection to a Housing Development

This form can be used to apply for a connection to a large domestic development site (more than 6 properties). If you require a connection for a commercial development, you will need a different application form. Please contact us on the number below and we can send this to you. We will provide the following in response to your application:

- A quotation for the cost of the work required to connect your development to the network
- A copy of our mains records for the area indicating the connection point
- Confirmation of whether your development can be supplied by gravity or will require pumps/storage

Where new water mains are required on your site we will also provide the following:

- A plan of your site showing where new mains are to be laid and connected to the existing network

There is a charge of **£86.16 + £17.23 VAT = £103.39** for processing your application and providing a quotation for the work required.

To find out what this charge is for please see section 10.

**Please note: To apply for a water supply you must be either the owner of the land or acting on their behalf.**

For enquiries please call us on **01274 608008**  
E-mail: [wbu.servicecentre@yorkshirewater.co.uk](mailto:wbu.servicecentre@yorkshirewater.co.uk)

Method of payment (please tick)  
 Cheque  
 Credit / debit card

Calls are recorded for monitoring purposes. Some credit cards will incur a bank handling fee. The amount varies depending on your provider.

**Please complete this form in black ink and block capitals**

### 1 Applicant's details

The applicant should be the person who is responsible for paying the quotation prior to your connection taking place, please read note 12 to ensure you fill in this form correctly and do not incur charges for amending your quotation.

Company/Customer name

Contact name

Address for correspondence

Daytime telephone number (including dialling code)

Mobile phone number

Fax number (including dialling code)

Postcode

E-mail address

If you have made a previous development enquiry regarding this site please indicate the enquiry reference number below

Enquiry ref

### 2 Details of the site or development

Site address

Grid reference

Easting (6 figures)

Northing (6 figures)

Please indicate below the type of development

- New property build
- Existing property being split into a larger number of properties

Postcode

# Application for a Water Connection to a Housing Development

## 3 Existing supplies to the site

Please indicate if any existing properties have been (or will be) demolished on this site

Yes  No

If **Yes**, please provide details of the demolished property address, demolition date and Yorkshire Water account number if known.

Do you require any existing supplies disconnecting

Yes  No

If **Yes**, please indicate the supplies you would like disconnecting on your site layout plan.

## 4 Site history

We require details of the previous use of the site so we can determine if there are any contaminants that could affect the pipe to be laid and contaminate the water supply.

Was the previous use of the site agricultural/greenfield

Yes  No

Was the previous use of the site purely housing/accommodation

Yes  No

If you answered **No** to either of the questions, you will need to complete the Contaminated Land Assessment Form which will have been sent to you with your application form.

## 5 New domestic properties

Number of houses

Number of flats or apartments

Please indicate the maximum height in metres to which water will be required \_\_\_\_\_ m

Please indicate the date you forecast the first property on this development will be occupied \_\_\_\_\_

Do you require a site supply for staff welfare?

Yes  No

If **Yes**, please indicate on your site layout plan the location of your site office/cabins.

## 6 Additional information required if you are requisitioning a main

Are you/will you be the land owner?  Yes  No No. of phases water mains to be laid in

If No. please give details of the land owner below. If Yes please provide your own Company Name, Company Number and Registered Address, as they will be required for the Mains Agreement.

Company name

Registered Address

\_\_\_\_\_

Contact name (if different from above)

\_\_\_\_\_

Company Reg. Number

\_\_\_\_\_

Postcode

|  |  |  |  |  |  |  |  |
|--|--|--|--|--|--|--|--|
|  |  |  |  |  |  |  |  |
|--|--|--|--|--|--|--|--|

Please explain briefly what is being built on site and what the premises will be used for (i.e hotel, commercial units, nursing home, warehouse etc).

If you require water for a commercial/industrial process please provide the peak flow and daily demand of water required below:

Peak flow (in litres per second) \_\_\_\_\_ Daily water demand (in m<sup>3</sup>/hour) \_\_\_\_\_

## 7 Sewerage enquiries

Please complete the following details regarding the arrangements for drainage on the site, this will ensure that the subsequent owners are correctly billed for drainage.

What method will be used for waste water drainage (bathrooms/kitchens)

Public sewer

Cess pool/septic tank

What method will be used to drain rainwater (roofs/parking areas)

Public sewer

Cess pool/septic tank

Land/water course

For applications and enquiries for drainage connections please contact us at:  
Development Team, Yorkshire Water, PO Box 500, Bradford, BD6 2SZ Tel: 01274 608008

## Application for a Water Connection to a Housing Development

### 8 What will it cost?

There is a charge of £86.16 + £17.23 VAT = £103.39 for processing your application. This charge covers the cost of undertaking a survey on site, confirming that we can supply the quantity of water required at the statutory pressure and providing a quotation to you for the connection work. Your quotation will be valid until the 31st March.

### 9 About your new connection

We provide a standard 25mm pipe connection to all domestic properties.

We try to ensure the water pressure at the boundary is no lower than 1.5 bar (15m head) and provides a minimum flow of 22 litres per minute. Please note: The minimum guaranteed standard for pressure and flow for a single domestic dwelling set by Ofwat is 1 bar (10 metres head pressure) measured in the service pipe at downstream side of the boundary stop cock at a flow rate of nine litres per minute. Yorkshire Water cannot guarantee pressures and flows above this minimum guaranteed standard.

### 10 What will Yorkshire Water do to process my application?

Large Diameter Connections – We will survey the site to determine the length and size of pipe we will need to lay and its location. We will send you a quotation with a plan showing your connection point. You should receive your quotation within 28 day of our receipt of your application.

Mains requisitions – we will undertake a survey of the site and determine how your site will be connected to the network. We will then design the route of the mains and service connections for each property/unit. We will send you the cost of 3 options for you to choose a mainlaying option. You will receive your quote/comparison within 28 days of us receiving your application and payment. For complicated or large design this may take longer. The costs will be based upon us laying the main in the number of phases you have indicated. If you request the water mains to be laid in more phases than this you will be charged for the additional site visits.

### 11 How do I pay?

You can pay either by cheque or credit/debit card, please indicate your payment method on the reverse of this form. If you wish to pay by cheque please enclose a cheque payable to 'Yorkshire Water Services Ltd' with your application. Some credit cards will incur a bank handling fee. The amount varies depending on your provider. Your enquiry request will only be processed once payment is received.

### 12 Charges for amendments to your quotation

Your quotation will be sent out to the applicant whose details you have completed in section 1. Please ensure the applicant is the person who will be paying the quotation as the payment receipt will be sent in the name of the applicant. If you require us to reissue the quotation to a different person/company there is an admin charge of £24.38. If you change your new connection requirements after receiving your quote there is an admin fee for a re-quote of £48.75 (£83.42 if we have to re survey the site). If you request a copy receipt in a name other than the applicant there is a charge of £24.38. These charges are applicable to 31 March 2011 and exclude VAT.

Whilst we endeavour to provide an accurate quotation for the cost of your new connection there are unforeseen circumstances that may affect this. These include additional local authority highway requirements such as road closures, out of hours working or the use of specialist traffic management. Engineering difficulties may also affect the cost of the work. In the unlikely event that these arise we will recharge any additional costs not identified at survey stage to the applicant.

### 13 What information do I need to supply with my application?

Please complete the checklist below to confirm that you enclosed all the information required to process your application. Any incomplete submissions will be returned to you and will delay your quotation and/or mains design.

- Fully completed all relevant sections of this form
- Provide 2 copies of a plan showing the location of the site (scale not less than 1:2500)
- Provide 2 copies of a plan showing property layout, public highways to be adopted, service strips, site entrance and location of any disconnections or supply to site cabins **(at a scale of 1:500)**
- A completed Contaminated Land Assessment Form (where required)
- Clearly indicated at the beginning of this form if you are paying by cheque or credit/debit card
- Enclosed payment of £86.16 + £17.23 VAT = £103.39 (if paying by cheque) payable to Yorkshire Water
- Sign and complete the declaration below

### WE WILL BE UNABLE TO CARRY OUT A SURVEY WITHOUT THIS INFORMATION

### 14 Declaration

I hereby request a new water supply to the new development detailed above, I understand that if my request changes, Yorkshire Water will charge for the additional work and my installation may be delayed, I confirm that I am either the owner of the land or acting on their behalf.

Your signature

Date

\_\_\_\_\_  
Your name and title (in capitals)

\_\_\_\_\_  
Role in organisation (if signing on behalf of a company)

Please return this completed form with the information indicated above to:  
Developer Services Yorkshire Water Services Ltd PO Box 52 Bradford BD3 7YD

**yorkshirewater.com**

Yorkshire Water Services Limited  
Western House Halifax Road Bradford BD6 2SZ  
Registered in England and Wales No.2366682



YorkshireWater



Yorkshire Water Services  
Developer Services  
Sewerage Technical Team  
PO BOX 52  
Bradford  
BD3 7AY

WSP Development Limited  
Three White Rose Office Park  
Millshaw Park Lane  
LEEDS  
LS11 0DL

Tel: 0845 120 8482  
Fax: (01274) 372 834

For the attention of Mr P Laidler

Email:  
Planning.Sewerage@yorkshirewater.co.uk

Your Ref:  
Our Ref: M000797

For telephone enquiries ring:  
Kashif Khan on (0845)120 8482

21st February 2011

Dear Sir,

Westholme Road, Masham, North Yorkshire - Pre-Planning Sewerage Enquiry - Residential - J221385

Thank you for your enquiry received 8th February 2011. Our charge of £70.00 (plus VAT) will be added to your account with us, reference WSP041. You will receive an invoice for your account in due course. Please find enclosed a complimentary extract from the Statutory Sewer Map. This indicates the recorded position of the public sewers. The following comments reflect our view, with regard to the public sewer network only, based on a 'desk top' study of the site:

Development of the site should take place with separate systems for foul and surface water drainage. The separate system should extend to the public sewer.

Foul water domestic waste should discharge to the 225 mm diameter public foul sewer recorded in Westholme Crescent, at a point approximately 75 metres from the site, and/or to the 225 mm diameter public foul sewer recorded in The Oaks, at a point approximately 35 metres from the site.

From the information supplied, it is not possible to determine if the whole site will drain by gravity to the public sewer network. If the site, or part of it, will not drain by gravity, then it is likely that a sewage pumping station will be required to facilitate connection to the public sewer network. If sewage pumping is required foul water discharge must not exceed 6 (six) litres per second to either of the above public sewers.

The developer's attention is drawn to Requirement H3 of the Building Regulations 2000. This establishes a preferred hierarchy for surface water disposal. Consideration should firstly be given to discharge to soakaway, infiltration system and watercourse in that priority order.

Sustainable Drainage Systems (SUDS), for example the use of soakaways and/or permeable hardstanding etc., may be a suitable solution for surface water disposal appropriate in this situation. You are advised to seek comments on the suitability of SUDS in this instance from the appropriate authorities.

Where appropriate, soakaways, swales and infiltration trenches (SUDS) may be adopted as part of the public sewer network. For general conditions for the adoption of SUDS please see the attached sheet. Further information may be seen in the DEFRA publication 'Interim Code of Practice for Sustainable Drainage Systems' (ISBN 0-86017-904-4). If the developer is considering adoption of SUDS they should contact our Developer Services Team on 0845 120 84 82.



There are no adequate public sewers available in the vicinity to accept any surface water discharge from this site. Therefore, I would advise you to contact the Environment Agency/local Land Drainage Authority with a view to establishing a suitable watercourse for discharge.

It is understood that a watercourse, Swinney Beck, is located along the northern boundary of the site. This appears to be the obvious place for surface water disposal.

Please note further restrictions on surface water disposal from the site may be imposed by other parties. You are strongly advised to seek advice/comments from the Environment Agency/Land Drainage Authority, with regard to surface water disposal from the site.

An off-site foul sewer may be required which may be provided by the developer and considered for adoption under Section 104 of the Water Industry Act 1991. Please telephone 0845 120 84 82 for advice on sewer adoptions. Alternatively, the developer may in certain circumstances be able to requisition off-site sewers under Section 98 of the Water Industry Act 1991 for which an application must be made in writing. For further information, please telephone 0845 120 84 82.

Prospectively adoptable sewers and pumping stations must be designed and constructed in accordance with the WRC publication "Sewers for Adoption - a design and construction guide for developers" 6th Edition as supplemented by Yorkshire Water's requirements, pursuant to an agreement under Section 104 of the Water Industry Act 1991. An application to enter into a Section 104 agreement must be made in writing prior to any works commencing on site. Please contact our Developer Services Team (telephone 0845 120 84 82) for further information.

The public sewer network is for domestic sewage purposes. This generally means foul water for domestic purposes and, where a suitable surface water or combined sewer is available, surface water from the roofs of buildings together with surface water from paved areas of land appurtenant to those buildings. Land and highway drainage have no right of connection to the public sewer network. Highway drainage, however, may be accepted under certain circumstances; for instance, if SUDS are not a viable option and there is no highway drain available and if capacity is available within the public sewer network. In this event, the developer will be required to enter into a formal agreement with Yorkshire Water Services under Section 115 Water Industry Act 1991 to discharge non-domestic flows into the public sewer network.

No land drainage to be connected/discharged to public sewer.

There are a number of properties in the vicinity of the site on the DG5 (sewer flooding) Register which date back to 2003 but these appear to have been resolved as there have not been any repeat instances. Reports of sewer flooding in the area on the YW operations database are associated with blockages/collapses on minor sewers.

Any new connection to an existing public sewer will require the approval of Yorkshire Water. You may obtain an application form from our website ([www.yorkshirewater.com](http://www.yorkshirewater.com)) or by telephoning 0845 120 84 82.


All the above comments are based upon the information and records available at the present time. The information contained in this letter together with that shown on any extract from the Statutory Sewer Map that may be enclosed is believed to be correct and is supplied in good faith. Please note that capacity in the public sewer network is not reserved for specific future development. It is used up on a 'first come, first served' basis. You should visit the site and establish the line and level of any public sewers affecting your proposals before the commencement of any design work.

Yours faithfully



Developer Services Team



|  |  |  |
|--|--|--|
| 421938 - 480575  | Map Name : SE2180NE<br>Yorkshire Water,<br>PO Box 500,<br>Halifax Road,<br>Bradford BD6 2LZ<br>Contact Name :<br>K KHAN<br>Contact Tel : | Title<br>Notes   |
|  <p>Yorkshire Water,<br/>PO Box 500,<br/>Halifax Road,<br/>Bradford BD6 2LZ<br/>Contact Name :<br/>K KHAN<br/>Contact Tel :</p> |  | <p>Partial Key<br/>Foul Sewer = F<br/>Combined Sewer = C<br/>Surface Water Sewer = SW<br/>Trade Sewer = TD<br/>Partially Separate = PS</p> |
| <p>Date Req : 21/02/2011, 14:58:01<br/>Source : Sewer Network Enquiry</p>  |  | <p>Date Gen : 21/02/2011, 14:58:07</p>   |

This plan is furnished as a general guide only and no warranty as to the accuracy of the information is given or implied. The plan must not be relied upon in the event of any dispute or litigation in the vicinity of public sewers. No house or property connections are shown.



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# Drainage



YorkshireWater

RECEIVED  
14 MAY 2008  
RECEIVED

1171019  
FILE

WSP Development Limited  
Three White Rose Office Park  
Millshaw Park Lane  
LEEDS  
LS11 0DL

Yorkshire Water  
New Development Team Sewerage  
Western House  
Halifax Road  
PO Box 500  
Bradford  
BD6 2LZ

Tel: (0845)1242424  
Fax: (01274) 372 834

For the attention of Ms L Huckson

Email:  
Planning.Sewerage@yorkshirewater.co.uk

Your Ref: 11171019/IF1/LH  
Our Ref: J004303 /ndt-sew/peh

For telephone enquiries ring:

Philip Hoffmann on (0845)1242424

13th May 2008

Dear Madam,

Land at Westholme Road, Masham, Ripon - Pre-Planning Sewerage Enquiry - Residential Development

Thank you for your enquiry of 29th April 2008. Our charge of £150.00 (plus VAT) will be added to your account with us, reference WSP 041. You will receive an invoice for your account in due course.

Please find enclosed a complimentary extract from the Statutory Sewer Map. This indicates the recorded position of the public sewers. The following comments reflect our view, with regard to the public sewer network only, based on a 'desk top' study of the site:

The local Waste Water Treatment Works (WWTW) is Masham. It is understood that this WWTW may only have limited spare capacity, if any, available and the proposed development would represent an increase in population served of approximately 20 per cent. We have contacted the Area Asset Manager for more information regarding the impact of proposed development and will contact you when an assessment has been made.

The site is remote from the public sewer network.

Development of the site should take place with separate systems for foul and surface water drainage. The separate system should extend to the public sewer.

Foul water should discharge to the 225mm diameter public foul sewer recorded in Westholme Crescent, at a point approximately 75 metres from the site, and/or to the 225mm diameter public foul sewer recorded in The Oaks, at a point approximately 35 metres from the site. From the information supplied, it is not possible to determine if the whole site will drain by gravity to the public sewer network. If the site, or part of it, will not drain by gravity, then it is likely that a sewage pumping station will be required to facilitate connection to the public sewer network. If sewage pumping is required foul water discharge must not exceed 6 (six) litres per second to either of the above public sewers.

The developer's attention is drawn to Requirement H3 of the Building Regulations 2000. This establishes a preferred hierarchy for surface water disposal. Consideration should firstly be given to discharge to soakaway, infiltration system and watercourse in that priority order.

Sustainable Drainage Systems (SUDS), for example the use of soakaways and/or permeable hardstanding etc., may be a suitable solution for surface water disposal appropriate in this situation. You are advised to seek comments on the suitability of SUDS in this instance from the appropriate

Winner of Utility of the Year Award

2006 UTILITY INDUSTRY  
ACHIEVEMENT AWARDS



Awarded for excellence

authorities.

Where appropriate, soakaways, swales and infiltration trenches (SUDS) may be adopted as part of the public sewer network. For general conditions for the adoption of SUDS please see the attached sheet. Further information may be seen in the DEFRA publication 'Interim Code of Practice for Sustainable Drainage Systems' (ISBN 0-86017-904-4). If the developer is considering adoption of SUDS he should contact our New Development Team at Sheffield on 0845 124 24 24.

There are no adequate public surface water or combined sewers available in the vicinity to accept any surface water discharge from this site. Therefore, I would advise you to contact the Environment Agency/local Land Drainage Authority with a view to establishing a suitable watercourse for discharge. It is noted that a watercourse, Swinney Beck, is located along the northern boundary of the site. This appears to be the obvious place for surface water disposal.

Please note further restrictions on surface water disposal from the site may be imposed. You are strongly advised to seek advice/comments from the local Planning Authority/Land Drainage Authority/Environment Agency, in regard to surface water disposal from the site.

An off-site foul sewer may be required which may be provided by the developer and considered for adoption under Section 104 of the Water Industry Act 1991. Please telephone 0845 124 24 24 for advice on sewer adoptions. Alternatively, the developer may in certain circumstances be able to requisition off-site sewers under Section 98 of the Water Industry Act 1991 for which an application must be made in writing. For further information, please telephone 0845 124 24 24.

Pumping stations may be adopted, subject to a minimum of 8 (eight) properties being served. Yorkshire Water has a Design Guide and Specification for Electrical & Mechanical Equipment for Use in Small Submersible Sewage Pumping Stations, which is to be used for pumping stations included in Section 104 agreements. Copies - which have already been sent out to most Developers - may be obtained by telephoning 0845 124 24 24.

The public sewer network is for domestic sewage purposes. This generally means foul water for domestic purposes and, where a suitable surface water or combined sewer is available, surface water from the roofs of buildings together with surface water from paved areas of land appurtenant to those buildings. Land and highway drainage have no right of connection to the public sewer network. Land drainage will not be allowed into a public sewer. Highway drainage, however, may be accepted under certain circumstances; for instance, if SUDS are not a viable option and there is no highway drain available and if capacity is available within the public sewer network. In this event, the developer will be required to enter into a formal agreement with Yorkshire Water Services under Section 115 Water Industry Act 1991 to discharge non-domestic flows into the public sewer network.

The site is within an area that may be affected by river flooding. We would advise you to contact the Environment Agency for details.

There are 4 properties on the DG 5 (sewer flooding) Register downstream of the proposed development.

Westwood Court - external area flooding - would be affected by the northern foul outfall

Park Square - internal flooding - would be affected by the southern outfall (but only after flows have been pumped)

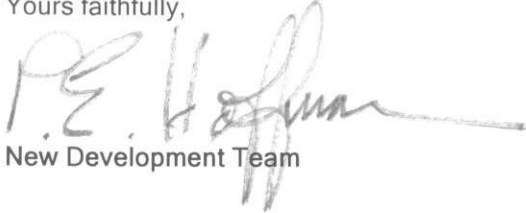
Silver Street - internal flooding - two properties in area where the possible outfalls come together - flooding incidents are "other causes" - blockages/collapses

Reports of sewer flooding in the area on the YW operations database are associated with blockages/collapses on minor sewers.

Any new connection to an existing public sewer will require the approval of Yorkshire Water. You may obtain an application form by telephoning 0845 124 24 24.

All the above comments are based upon the information and records available at the present time. The information contained in this letter together with that shown on any extract from the Statutory Sewer Map that may be enclosed is believed to be correct and is supplied in good faith. Please note that capacity in the public sewer network is not reserved for specific future development. It is used up on a 'first come, first served' basis. You should visit the site and establish the line and level of any public sewers affecting your proposals before the commencement of any design work.

Yours faithfully,

A handwritten signature in black ink, appearing to read "P.E. Hoffman". The signature is written in a cursive style with a long horizontal flourish extending to the right.

New Development Team



## General Conditions in relation to the adoption of Sustainable Drainage Systems (SUDS)

1. There should be no potential to cause pollution and a discharge consent from the EA should not be required – see Sections 4.1.2 and 4.1.3 of the SUDS Interim Code of Practice for further detail. (Yorkshire Water cannot readily control what is discharged into sewers and the risk of pollution to watercourses and groundwater must be avoided.)
2. Health and safety file must be provided to quantify and mitigate any associated risks
3. Yorkshire Water will not adopt SUDS features that are situated in private land. They should be sited in public open space; common shared areas held for general communal purposes or public highway and have unrestricted access. Access to these features is required on a 24 hour basis to ensure entry for routine maintenance and in the event of emergencies.
4. Drainage must be from roofs & yards with a proper outfall and should not have land drainage or groundwater inflow. This will enable adoption as part of the public sewerage system.
5. Any discharges into watercourses or other SUDS features must have the benefit of a right to discharge in perpetuity as Yorkshire Water have no statutory powers in respect of such discharges.
6. Ground conditions must be suitable to allow free drainage from the particular SUDS feature all year round (by having regard to groundwater levels).
7. Required technical considerations:
  - (i) Clearly defined channel, conduit or structure for flows
  - (ii) Extent of controlled storage of the particular SUDS feature to be defined
  - (iii) Must meet relevant design guidance found in current versions of 'Sewers for Adoption or CIRIA documentation
  - (iv) Sphere of influence not within 5m of the building
  - (v) No tree planting within 5m of feature as this would prevent access for maintenance (approved shallow rooted shrubs may be permitted).
  - (vi) Designed flood route as per 'Sewers for Adoption'
  - (vii) No outlet to combined sewers or foul sewers
  - (viii) Design for 1:30 year flooding if Yorkshire Water is to adopt
  - (ix) The SUDS feature must incorporate an adoptable bypass pipe that can be used in the event that the SUDS feature fails and is designed to comply with the requirements of items (vi) and (viii) above.

Experience with 'Sewers for Adoption' has shown that compliance with the criteria detailed above provides a robust and cost effective solution to draining new developments whilst offering a high level of protection to occupiers of premises that are served by these SUDS features.

**In addition to the above general conditions the following specific conditions apply in relation to SUDS features that may be adopted/operated by Yorkshire Water**

### **Swales**

- If a swale meets the general requirements detailed above then it could enable adoption by Yorkshire Water. However, swales would normally be expected to be owned and operated by either:
  - Local authority for public open space
  - Highway authority for public highway and verges
  - Private landowners and/or management companies (through maintenance agreements with owners) in respect of private land

### **Soakaways**

- Must be constructed at least 5m from the curtilage of private land to ensure free drainage and no building over
- Properly engineered structure constructed to an agreed design having –
  - A defined chamber or structure
  - Outlet to underground strata
  - Drainage from more than one property
  - An outfall to S.W. sewer/highway drain/watercourse

### **Infiltration Trenches**

- If a infiltration trenches meet the general requirements detailed above then it could enable adoption by Yorkshire Water. However, infiltration trenches would normally be expected to be owned and operated by either:
  - Local authority for public open space
  - Highway authority for public highway and verges
  - Private landowners and/or management companies (through maintenance agreements with owners) in respect of private land

### **Filter drains**

- As infiltration trenches

**Pipes** - Covered in 'Sewers for Adoption'





### **Supplementary Information: Adoption of Lateral Drains**

With the implementation of the Water Act 2003 the Government's strategy on the ownership of new sewers is moving forward.

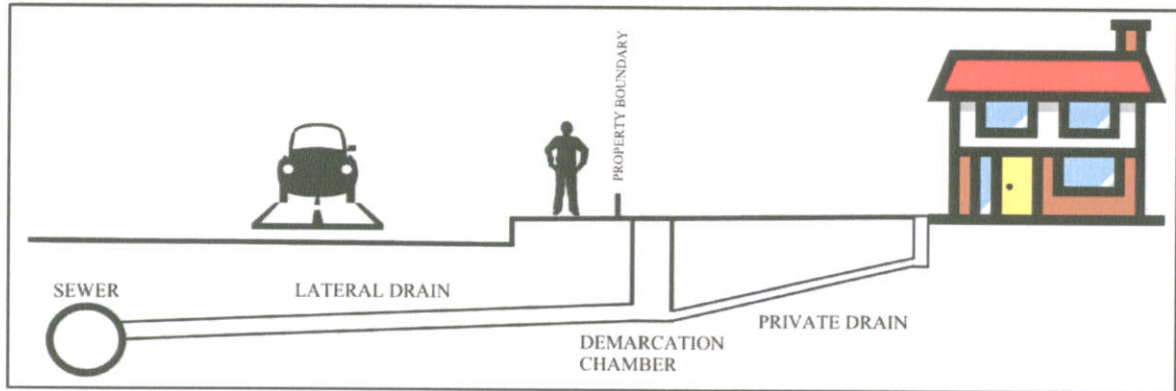
The intention is that all new sewers are to be built to adoptable standards. Further more, drains from the curtilage to the point of connection to the public sewer (to be known as Lateral Drains) can also be in public ownership.

Yorkshire Water's policy on these issues is in line with the Governments thinking and to facilitate this, the following protocol is required to be implemented.

All drains and sewers to be adopted are to be laid at the front of the curtilage, the termination of the lateral drain to be defined by a demarcation access point and to be constructed in accordance with documentation to be introduced in the autumn of 2004. As an interim solution demarcation chambers are to be constructed as per Yorkshire Water's guidelines for demarcation chambers.

All sewers to be adopted (and Yorkshire Water would look to have all sewers adopted) should be designed to either the WRc publication "Sewers for Adoption - a design and construction guide for developers" 6th Edition or if serving less than 9 properties on foul only systems to the protocol on design, construction and adoption of sewers in England and Wales produced by DEFRA. Please contact our Development Team - Technical (telephone 0114 251 8321, Fax 0114 251 8384) for further information.

## Criteria for laying adoptable lateral drains/sewers in highway



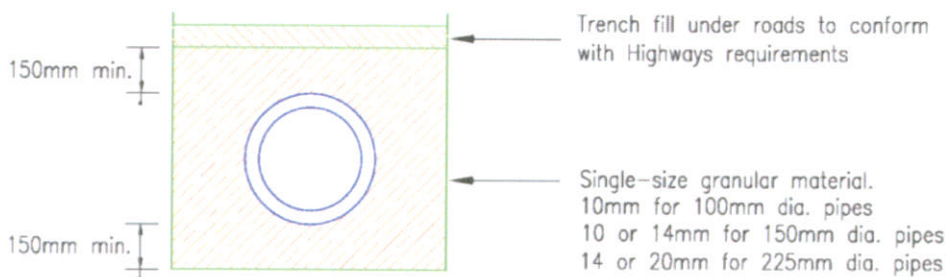
### Pipes

The pipes detailed in the table below can be used when laying a lateral drain/sewer under public highway subject to acceptable minimum gradients, also detailed below.

| Product Name | Diameter (mm)         | Manufacturer | Material          |
|--------------|-----------------------|--------------|-------------------|
| SuperSleve   | 100 & 150 (I.D.)      | Hepworth     | Vitrified Clay    |
| SuperSeal    | 150 & 225 (I.D.)      | Hepworth     | Vitrified Clay    |
| Densleeve    | 100, 150 & 225 (I.D.) | Naylor       | Vitrified Clay    |
| Denseal      | 100, 150 & 225 (I.D.) | Naylor       | Vitrified Clay    |
| Ultra-Drain  | 110 & 160 (O.D.)      | Uponor       | uPVC (solid wall) |
| Plastidrain  | 110 & 160 (O.D.)      | Hepworth     | uPVC (solid wall) |

| Diameter (mm) | Gradient |       |
|---------------|----------|-------|
|               | Foul     | S.W   |
| 100           | 1:40     | 1:100 |
| 150           | 1:80     | 1:150 |
| 225           | 1:125    | 1:225 |
|               |          |       |
|               |          |       |

### Bedding (typical section)



**Class S Bedding**  
To be used when pipe is more than 1200mm from highway surface  
Concrete bed and surround required when less than 1200mm from highway surface

NOT TO SCALE

### Demarcation Chamber

A chamber must be located just within the property boundary at the end of the public section of the lateral drain/sewer. The table below lists some acceptable chamber types.

| Manufacturer | Product Name / Ref           | Material         | Maximum Depth | Cover Type    |
|--------------|------------------------------|------------------|---------------|---------------|
| Naylor       | Plastic Inspection Chamber   | Polypropylene    | Up to 1200mm  | Class B125    |
| Hepworth     | PPIC                         | Polypropylene    | Up to 1200mm  | Class B125    |
| Uponor       | Inspection chamber (450mm Ø) | Polypropylene    | Up to 1200mm  | Class B125    |
| Marshalls    | Inspection chamber           | Precast concrete | Up to 1000mm  | To BS5911 pt2 |



connections are shown.  
 Extract from Statutory Sewer Map  
 Location: **Masham**  
 Scale: **1:500**  
 WMS Ref: **004303/PE4**  
 Sheet: **1 of 1**

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Date Requested: 13/05/2008, 09:30:44  
 Date Generated: 13/05/2008, 09:31:16  
 Source:

UPN: Undefined  
 Originator:

## **YORKSHIRE WATER PROTECTION OF MAINS AND SERVICES - CLEAN WATER**

1. Please note the positions of clean water apparatus shown on the enclosed plans are believed to be correct. However, Yorkshire Water (YW) will accept no responsibility in the event of any inaccuracy or omission. The actual position of such apparatus and that of service pipes which have not been indicated must be established on site by contacting the Customer Helpline (0845 124 24 24) for water and (0845 124 24 29) for sewerage.
2. To enable future repair works to be carried out without hindrance; any pipe, cable, duct, etc. installed parallel to a water main or service pipe should not be installed directly over or within 300mm of a water main or service pipe. Where a pipe, cable, duct, etc. crosses a main or service it should preferably cross perpendicular or at an angle of no less than 45o and with a minimum clearance of 150mm. These requirements apply to activities within an existing highway and are relevant to the installation of pipes, cables, ducts, etc. up to and including 250mm in diameter. Necessary protection measures for installations greater than 250mm in diameter and/or in private land will need to be agreed on an individual basis.  
Installations within a new development site must comply with the National Joint Utilities Group publication Volume 2: NJUG Guidelines On The Positioning Of Underground Utilities Apparatus For New Development Sites.
3. All excavation works near to YW apparatus should be by hand digging only.
4. Backfilling with a suitable material to a minimum 300mm above YW apparatus is required.
5. If surface levels are to be decreased/increased significantly the effects on existing apparatus will be carefully considered and if any alterations are necessary, the costs of the alterations will be recharged to you in full. Outlets on fire hydrants must be no more than 300mm below the new levels and all surface boxes must be adjusted as part of the scheme.
6. Adequate support must be provided where any works pass under YW apparatus.
7. Jointing chambers, lighting columns and other structures must be installed in such a way that future repair or maintenance works to YW apparatus will not be hindered.
8. Apparatus such as; railings, sign posts, etc. must not be placed in such a way that they prevent access to or full operation of controlling valves, hydrants or similar apparatus. Care must also be taken not to bury or cover chamber lids for similar reasons.
9. Explosives shall not be used within 100 metres of any Yorkshire Water Services apparatus or installations.
10. Vibrating plant should not be used directly over any apparatus.
11. ***Under no circumstances*** should thrust boring or similar trenchless techniques commence until the actual position of the Company's mains/services along the proposed route have been confirmed by trial holes.
12. Any alterations to the highway should be notified following the procedures outlined in the New Road and Street Works Act 1991 Code of Practice; Measures Necessary Where Apparatus Is Affected By Major Works (Diversionsary Works).
13. Should YW incur any costs as a result of non-compliance with the above, all costs will be rechargeable in full.
14. In accordance with the New Roads and Street Works Act 1991, Chapter 22, Part 3, Section 80. The location of any identified YW asset "*which is not marked, or is wrongly marked, on the records made available*" should be communicated back to Yorkshire Water. The location of the apparatus should be identified on copies of the supplied plans which should be returned to Yorkshire Water with photographic supporting

evidence where possible.

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## **YORKSHIRE WATER PROTECTION OF MAINS AND SERVICES - WASTE WATER**

1. The position of Yorkshire Water Services Ltd (YWS) apparatus shown on the existing mains record drawing(s) indicates the **general** position and nature of our apparatus and the accuracy of this information cannot be guaranteed. Any damage to YWS apparatus as a result of your works may have serious consequences and you will be held responsible for all costs incurred. Prior to commencing major works, the exact location of apparatus must be determined on site, if necessary by excavating trial holes. The actual position of such apparatus and that of service pipes which have not been indicated must be established on site by contacting the Customer Helpline (0845 124 24 24) for water and (0845 124 24 29) for sewerage.

2. The public sewer network is lawfully retained in its existing position and the sewerage undertaker is entitled to have it remain so without any disturbance. The provisions of section 159 of the Water Industry Act 1991 provides that the sewerage undertaker may "inspect, maintain, adjust, repair or alter" the network. Those rights are given to enable the sewerage undertaker to perform its statutory duties. Any development of the land or any other action that unacceptably hindered the exercise of those rights would be unlawful.

3. Sewers in highways will **generally** be laid to give 1200mm of cover from finished ground level working to kerb races, other permanent identification of the limits of the road or to an agreed line and level. Substantial increases or decreases to this 1200mm depth of cover will result in the sewer being re-laid at your expense.

4. All excavation works near to YWS apparatus should be by hand digging only.

5. Backfilling with a suitable material to a minimum 300mm above YW apparatus is required.

6. To enable future repair works to be carried out, a minimum clearance of 1000mm must be maintained where any works or services are installed adjacent to YWS apparatus and a minimum clearance of 150mm where any works or services cross the apparatus.

7. Adequate support must be provided where any works pass under existing YWS apparatus.

8. Jointing chambers, lighting columns and other structures must not be installed in such a way that future repairs to YWS apparatus are hindered.

9. YWS surface boxes must not be covered or buried. Any adjustment, alteration or replacement of manhole covers must be agreed on site prior to the commencement of the works with a YWS Inspector who may be contacted via our Call Centre on 0845 124 24 29.

10. Explosives must not be used within 100 metres of YWS apparatus or installations and vibrating equipment should not be used directly over any apparatus.

11. Ground levels over existing YWS apparatus are to be maintained.

12. Movement or operation by vehicles or heavy plant is not to be permitted in the immediate vicinity of YWS plant or apparatus unless there has been prior consultation and, if necessary, adequate protection provided without cost to YWS.

13. You will be held responsible for any damage or loss to YWS apparatus during and after completion of work, caused by yourselves, your servant or agent. Any damage caused or observed to YWS plant or apparatus should be immediately reported to YWS.













14. You should ensure that nothing is done on the site to prejudice the safety or operation of YWS employees, plant or apparatus.

15. In accordance with the New Roads and Street Works Act 1991, Chapter 22, Part 3, Section 80. The location of any identified YW asset "*which is not marked, or is wrongly marked, on the records made available*" should be communicated back to Yorkshire Water. The location of the apparatus should be identified on copies of the supplied plans which should be returned to Yorkshire Water with photographic supporting evidence where possible.







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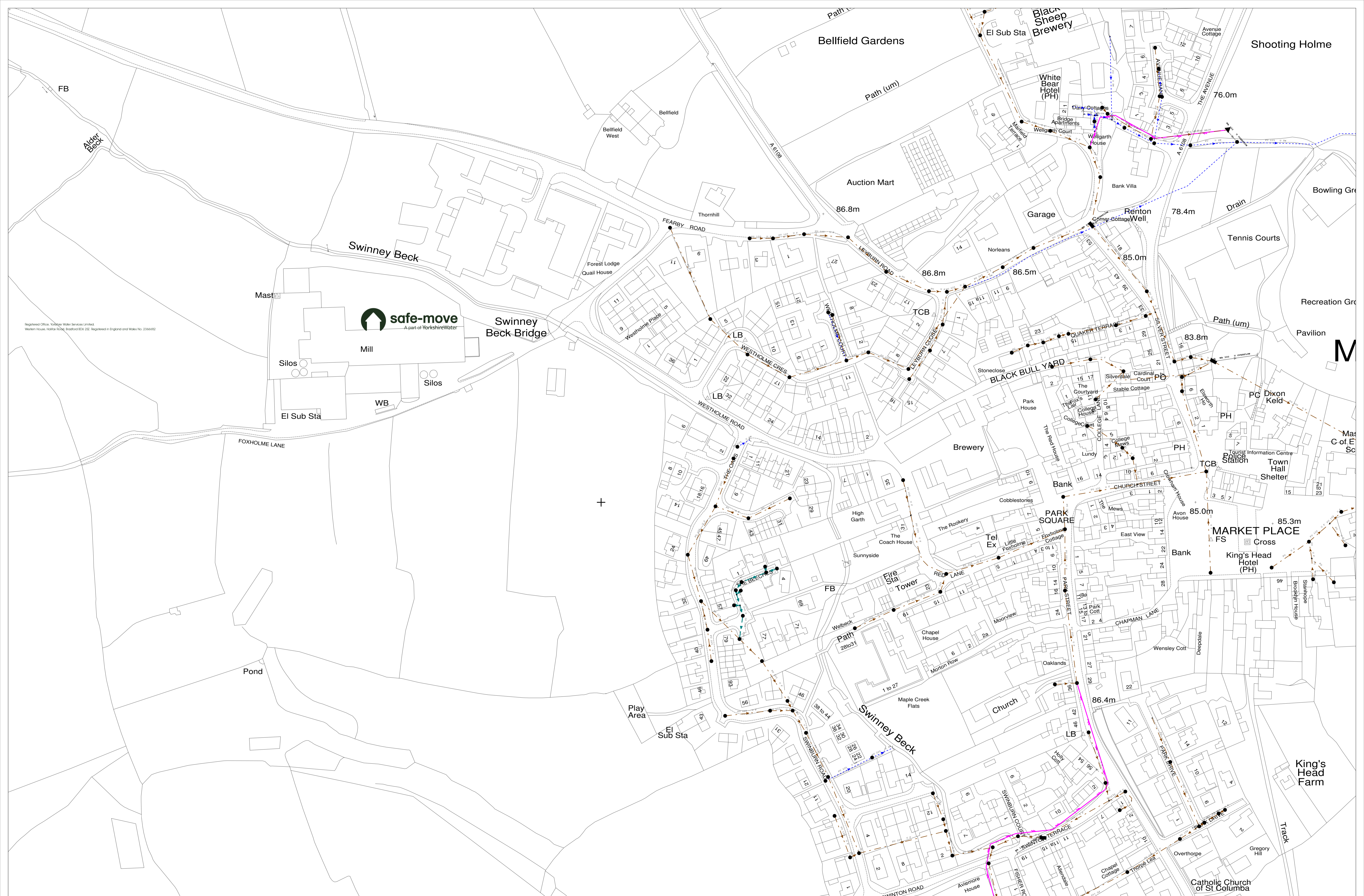
## Sewer Legend

|   |                               |  |                             |
|---|-------------------------------|--|-----------------------------|
|    | Combined Sewer                |    | S24 Combined Sewer          |
|    | Surface Water Sewer           |    | S24 Surface Water Sewer     |
|    | Foul Sewer                    |    | S24 Foul Sewer              |
|    | Section 104 Sewer             |    | Public Rising Main          |
|   | Pumping Station               |    | Abandoned Sewer             |
|  | Public Sewage Treatment Works |  | Syphon Sewer & Vacuum Sewer |
|   | +                             |  | Property Identifier         |

## Water Legend

|   |                         |
|---|-------------------------|
|  | Water Main 4" and below |
|  | Water Main 4" and above |
|  | Raw Water Main          |
|  | Private Water Main      |
|  | Fire Hydrant            |
|  | Pumping Station         |




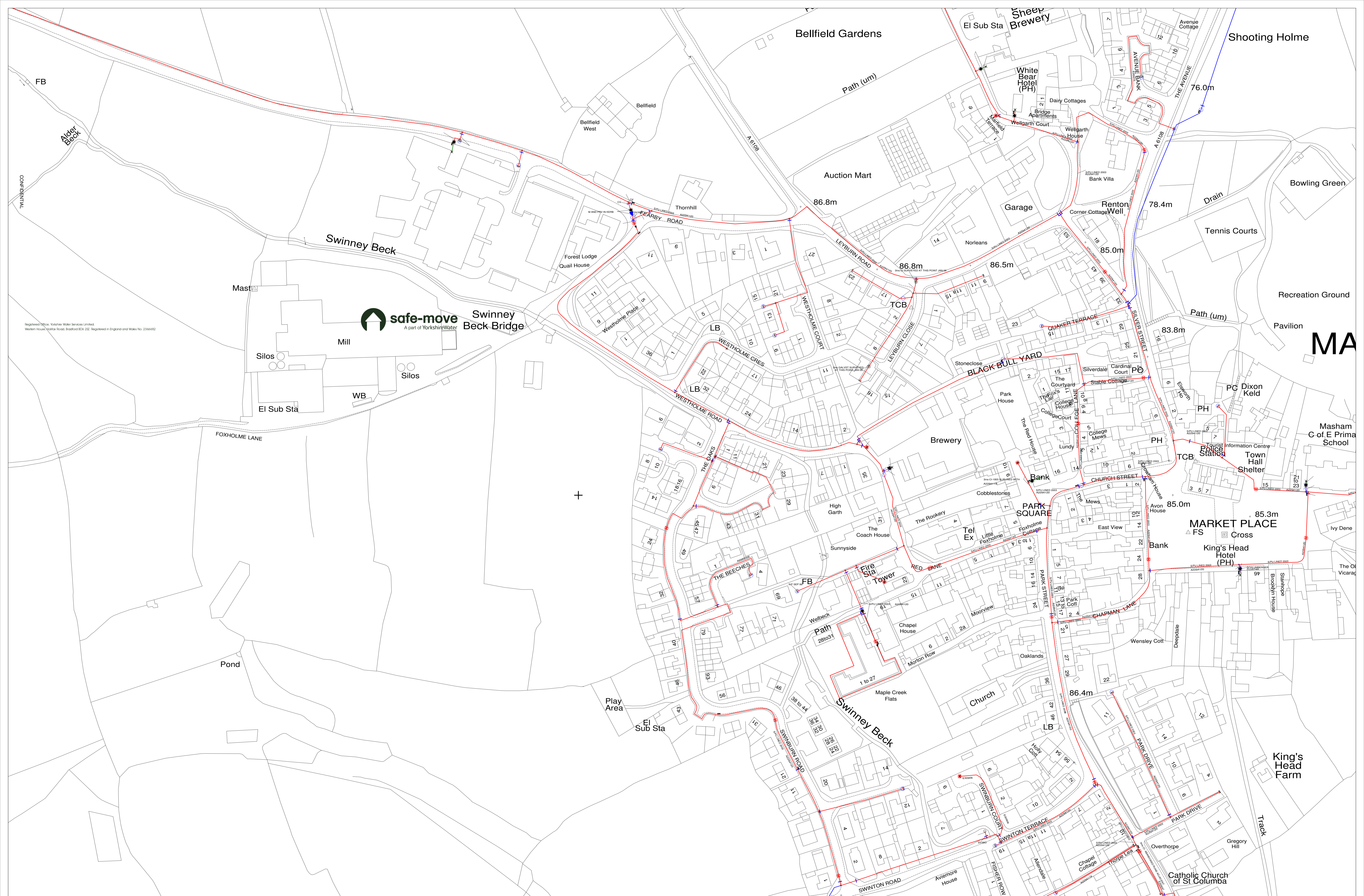


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Mill

|   |  |   |  |
|---|--|---|--|
| <p>421933 : 480667</p>  <p>Yorkshire Water</p> | <p>Map Name : SE21805E</p> <p>Yorkshire Water,<br/>       PO Box 500,<br/>       Halifax Road,<br/>       Bradford BD6 2LZ</p> <p>Contact Name :<br/>       Thomas Garside</p> <p>Contact Tel :<br/>       0113 275 2000</p> | <p>Title</p> <p>Notes</p> <p>Partial Key</p> <p>Foul Sewer = F<br/>       Contoured Sewer = C<br/>       Surface Water Sewer = SW<br/>       Trade Sewer = TD<br/>       Partially Separated = PS</p> <p>Date Req : 19/01/2011, 08:29:08</p> <p>Date Gen : 19/01/2011, 08:29:08</p> <p>Source : Sewer Network Enquiry</p> | <p>This plan is furnished as a general guide only and no warranty is given as to its correctness or completeness. This plan must not be relied upon in the event of excavations or other works made in the vicinity of public sewers. No house or property connection.</p> |
|---|--|---|--|



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|  |                           |                           |   |
|--|---------------------------|---------------------------|---|
| <p>421950 : 480662</p>  <p>Yorkshire Water<br/>       PO Box 500,<br/>       Halifax Road,<br/>       Bradford BD6 2LZ<br/>       Contact Name:<br/>       Thomas Garside<br/>       Contact Tel:</p> | <p>Map Name: SE21805E</p> | <p>Title</p> <p>Notes</p> | <p>Partial Key</p> <p>Water mains up to 4" in diameter</p> <p>Water mains over 4" in diameter</p> <p>Private water mains</p> <p>Scale: 1:1250</p> <p>Dwg No:</p> <p>Date Req: 19/01/2011, 08:30:05</p> <p>Source: Water Network Enquiry</p> <p>Mans No:</p> <p>Date Gen: 19/01/2011, 08:30:22</p> |
|--|---------------------------|---------------------------|---|

## Laidler, Paul

---

**From:** Beech, Cheryl <Cheryl.Beech@environment-agency.gov.uk>  
**Sent:** 25 January 2011 11:49  
**To:** Hamilton, Sarah  
**Subject:** Your Enquiry: RFI/2011/16087  
**Attachments:** Standard Notice.pdf; GuidanceNoteFD04Culverts.pdf

**Our Ref:** RFI/2011/16087

**Your Ref:**

Dear Sarah

### **RE: Land at Westholme Road, Masham**

Thank you for your enquiry dated 18 January 2011.

The site lies within Flood Zones 1, 2 & 3.

Zone 3 is the Agency's best estimate of the areas of land with a 100 to 1 (1%) chance or greater of flooding each year from rivers in catchments greater than 3 sq.km, or with 200 to 1 (0.5%) chance or greater of flooding each year from the sea, without the presence of any defences.

Zone 2 is the Agency's best estimate of the areas of land that could flood under extreme conditions with a 1000 to 1 (0.1%) chance of flooding each year from rivers or the sea, without the presence of any defences.

As the application area is identified as being within a Flood Zone (this applies equally to flood zones 2 & 3), the Agency would therefore recommend that a sequential and risk based approach to this application is taken in line with PPS25. The applicant should enter into discussions regarding the sequential test with the Local Authority as soon as is possible.

Assuming that the sequential test is passed the applicant should look at the site in a sequential manner and look to site all development wholly within flood zone 1 and outside of flood zone's 2 & 3.

Any development in Flood zone 1 greater than a hectare in size will require a Flood Risk Assessment (FRA) which should pay particular attention to drainage.

Any development within Flood zones 2 & 3 will require a full and detailed FRA. For further information / guidance regarding FRA's please refer to the Environment Agency website.

Finished Floor Levels for any development within a flood zone should be set a minimum of 600mm above whichever is the greater of existing ground levels, the highest recorded flood level (if available), or, the 1 in 100 modelled level (if available), plus a further 300mm of flood proofing.

Yorkshire Water offer a pre-planning service about the capacity of their sewer system for developers / applicants. The applicant should contact Yorkshire Water to ascertain the possibility of connecting to one of their sewers. Contact details are as follows:

[planningconsultation@yorkshirewater.co.uk](mailto:planningconsultation@yorkshirewater.co.uk)

[planning.sewerage@yorkshirewater.co.uk](mailto:planning.sewerage@yorkshirewater.co.uk)

There must be no increase in surface water runoff to Swinney Beck from the site. As a minimum the Agency would want to see any surface water discharge restricted to the existing greenfield runoff rate. If not calculated, then the greenfield run-off from a 1 in 1 year storm (1.4l/s/ha) should be used. The applicant must also provide sufficient attenuation and long term storage at least to accommodate a 1 in 30 year storm. The design should also ensure that storm water resulting from a 1 in 100 year event, plus 30% to account for climate change, and surcharging the drainage system can be stored on the site without risk to people or property and without overflowing into the watercourse.

The Agency is keen to promote the use of Sustainable Urban Drainage systems (SUDs) and draws attention to Annex F of PPS25. SUDs tackle surface water run-off problems at source using features such as soakaways, permeable pavements, grassed swales, infiltration trenches, ponds and wetlands, and, green roofs to attenuate flood peak flows, produce water quality improvements and environmental enhancements. We seek to promote the use of SUDs techniques to this site and expect the developer of the site to submit detailed investigations such that the use of SUDs has been fully explored.

Please find below a link to the Agency's green roof toolkit.

<http://www.environment-agency.gov.uk/business/sectors/91967.aspx>

The Agency has a policy against the culverting of watercourses because of the adverse ecological, flood defence, and other effects that are likely to arise. The applicant should therefore look to provide access via a clear span bridge rather than a culvert. If a culvert is to be used rather than a bridge then full written justification must be provided with the planning application.

Please find attached some guidance regarding culverting. Any proposed culvert must be of sufficient capacity to accommodate flows under flood conditions. The culvert must be of the minimum length required to provide access. Details of proposed mitigation measures will also be required if a culvert is to be used.

Swinney Beck is classified as a main river, as such, the formal consent of the Agency will be required, under the Water Resources Act 1991, for any works in, over, under, or within 8m of a main river and / or a flood defence.

There must be no built development (including garden fences) within 8m of Swinney Beck.

A copy of the application form and guidance notes, is available from Sam Watson, Development And Flood Risk Officer (Consents), at [sam.watson@environment-agency.gov.uk](mailto:sam.watson@environment-agency.gov.uk). Please return the completed application along with the application fee of £50, relevant drawings, a location plan and a comprehensive and detailed method statement.

Upon receipt of a valid application form the Agency has a statutory two-month period in which to determine applications for consent. Works should not commence until the formal consent(s) has been obtained from the Agency.

It is the applicant's responsibility to ensure that their operations do not cause or exacerbate flooding problems and / or erosion problems for others as a result of their works.

There must be no raising of ground levels within the flood plain.

All excess spoil must be removed from the flood plain.

For any development within a flood zone the applicant should consider the use of flood resilient / flood proof construction techniques, some examples of which are detailed as follows:

Solid floor construction e.g. continuous concrete ground floor slab minimum of 150mm thick reinforced with mesh on lapped and topped 1200 gauge visqueen damp proof membrane (dpm).

Electricity supply cables to enter building from roof level and wired downwards; electric sockets to be positioned at least 600mm above floor level.

Flood sensitive equipment raised 600mm above floor level.

Tanking of external walls to 600mm above proposed ground floor level and continuous with floor dpm.

Anti flood valves on internal building drainage.

Water tight external door construction to minimum of 600mm above proposed floor level.

Ceramic tiles or lime based plaster should be used on the internal face of the external walls at ground floor level.

Water resilient ground floor coverings should be considered, such as clay tiles.

Waterproof seal between cladding and floor slab

Information regarding flood resilience / resistance measures can be found at the following locations:

<http://www.communities.gov.uk/publications/planningandbuilding/improvingflood>

Link to publication 'Improving the flood performance of new buildings: flood resilient construction'. Some of the measures suggested may be feasible for existing buildings

<http://www.ciria.com/flooding/>

A number of advice sheets can be found on this website which offer suggestions for flood resilience measures

Suggested Flood Resilience measures:

<http://www.environment-agency.gov.uk/homeandleisure/floods/105963.aspx>

[http://www.floodforum.org.uk/index.php?option=com\\_content&view=article&id=8&Itemid=4](http://www.floodforum.org.uk/index.php?option=com_content&view=article&id=8&Itemid=4)

<http://www.floodresilienthome.com/>

This information is provided subject to the attached notice which you should read.

If you require any further help, please do not hesitate to contact me.

Yours sincerely

Cheryl Beech

External Relations Team  
Direct Dial 0113 2134732  
Email [neyorkshire@environment-agency.gov.uk](mailto:neyorkshire@environment-agency.gov.uk)

Days of work - Mon to Thurs

Environment Agency  
Phoenix House  
Global Avenue  
Leeds LS11 8PG

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## SUMMARY OF REQUIREMENTS FOR CULVERTS

## GUIDANCE NOTE

FD4

### 1.0 ENVIRONMENT AGENCY NATIONAL POLICY REGARDING CULVERTING

1.1 The Agency has a policy against culverting of watercourses because of the adverse ecological, flood defence and other effects that are likely to arise. Culverting should not be considered until other options have been thoroughly explored, for example:

- (i) clear open span bridges with existing banks and bed retained;
- (ii) revision of site layout to incorporate an open watercourse;
- (iii) diversion of the watercourse in an environmentally sympathetic channel and corridor.

1.2 Where culverting is unavoidable, and the Agency considers that there are no reasonably practicable alternatives the length shall be restricted to the minimum necessary, and appropriate mitigating environmental enhancements must be included in the proposal. The Agency's requirements regarding culverting are as follows:

### 2.0 SIZE OF CULVERT

2.1 In general, the culvert should be larger than needed for flow considerations alone to incorporate environmental requirements.

2.2 The minimum culvert diameter shall be no less than 600mm (900mm for roads), as smaller sizes are prone to regular blockage. Culverts under motorways, major roads and other deep fills shall have a minimum of 1200mm headroom to allow access.

2.3 The applicant shall support the proposed culvert sizing with appropriate calculations without reference to the size of existing culverts upstream or downstream. However, the proposed culvert shall, in general, be no smaller than any adjacent culverts downstream. For the

appropriate standard of protection, refer to the Land Drainage Consent Guide, but for urban areas this is normally 1 in 100 years.

2.4 The likelihood of future regrading, the cost of culvert replacement and the culvert hydraulics will be considered by the Agency when approving the diameter and invert level.

2.5 The following recommended culvert sizes incorporate a freeboard allowance to reduce the risk of floating debris blocking the culvert:

| Calculated<br>Dia. required | Recommended<br>Dia. provided |
|-----------------------------|------------------------------|
| 450 mm                      | 600 mm                       |
| 900 mm                      | 1200 mm                      |
| 1350 mm                     | 1800 mm                      |

### 3.0 INVERT LEVELS

3.1 The invert of box culverts shall be set 600 mm below the design bed level. The void between the invert and the existing bed level shall be filled with a suitable inert material to allow 'natural' bed features to form (eg blockstone which would also provide aeration). On some rivers, the Agency may require existing bed substrate to be re-instated.

3.2 To avoid problems of excessive siltation through very large box culverts, consideration shall be given to the provision of a two-stage channel.

3.3 Because of the cost of replacement, the inverts of large pipe culverts (> 900 mm) shall be dropped 600mm below present bed level if future regrading is likely.

3.4 The inverts of smaller pipe culverts (<900 mm) shall be set no higher than hard bed level (as a minimum) when the watercourse has been recently dredged, or 300mm below existing bed level when in a natural state.

### 3.0 ACCESS POINTS

Culverts shall have frequent access points for rodding, or manholes at changes of direction and section. Manhole spacing shall be more frequent on culverts with slow bends and on culverts located in gardens.

### 4.0 CULVERT ENTRY AND EXIT

4.1 The exit velocity under the design flood conditions shall be limited to 1.5m/s (2.0m/s in upland watercourses) unless erosion protection is provided (see Guidance Note FD9).

4.2 Protection against erosion shall be provided where necessary, for backfilling up to flood level at both the culvert entry and exit. Soft bank protection should be used in preference to hard engineering wherever possible, and shall be designed in keeping with the local environment (see Guidance Note FD9).

4.3 Headwalls and wingwalls shall be provided, where necessary, at entry and exit, and be adequately keyed into the banks and bed to prevent erosion. Design and construction materials shall be in keeping with the local environment. Smooth concrete finish is not normally acceptable.

### 5.0 SAFETY SCREENS AND FENCING

5.1 The Agency does not recommend the use of safety screens. Upstream screens shall only be used where there is a real danger to children, or where industrial rubbish or tree branches are likely to block the culvert and cause major flooding. The screen shall be designed for easy raking and have a horizontal top section which allows additional flow capacity when the inclined section becomes blocked. Raking of the screen remains the owner's responsibility.

5.2 Downstream screens will only be permitted where there is a real danger to children.

5.3 The screen shall include a fail safe design to allow the screen to hinge out of the main flow should it become blocked by debris.

5.4 Safety fencing shall be provided at entry and exit wherever there is a possibility of public access and shall be designed in keeping with the local environment.

### 6.0 ENVIRONMENTAL CONSIDERATIONS

6.1 Mitigation works to reduce the impact on the environment will be taken into account by the Agency when determining a consent application for culverting. Suitable mitigating environmental enhancements could include:

- (i) opening up a previously culverted section;
- (ii) enhancing other lengths of watercourse (eg buffer zones, planting native species etc);
- (iii) creation of a new pond or wetland area nearby.

6.2 Culverts beneath roads or railways shall incorporate mammal ledges 500mm wide set a minimum of 300mm above normal water level or, ideally, above mean annual flood level (where culvert size allows) or high level underpasses to allow the safe passage of wildlife. Fencing or planting may be required to guide animals safely to the ledge or underpass.

6.3 Culverts must be passable to fish at all times.

6.4 Suitable structures to encourage bat roosting and bird nesting shall be provided within the culvert where appropriate.

6.5 Special provisions for fish and protected species may also be requested by the Agency (see Guidance Note FD15).

*The above requirements shall be read in conjunction with the 'Land Drainage Consent Guide'. Under the Land Drainage Act 1991 and Water Resources Act 1991, Land Drainage Consent will normally be required. For further information and an application form contact the relevant Area Office.*

***The information contained within this document is subject to review.***

#### **Suggested further reading:**

'Environment Agency Policy Regarding Culverts – Policy Statement'

'Environment Agency Policy Regarding Culverts – Explanation of Policy'

'Environment Agency Policy Regarding Culverts – Technical Guidance on Culverting Proposals'

CIRIA Report 168 – 'Culvert Design Guide' 1997

Pollution Prevention Guidelines 'Works in, near or liable to affect watercourses' – PPG 5

Pollution Prevention Guidelines 'Working at construction and demolition sites' – PPG 6



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## Laidler, Paul

---

**From:** Laidler, Paul  
**Sent:** 08 February 2011 11:20  
**To:** 'Planning.Sewerage@yorkshirewater.co.uk'  
**Subject:** Pre-development Enquiry, Westholme Road  
**Attachments:** 110104 YW pre planning.pdf; Site Boundary.pdf

**Importance:** High

Dear YW,

Westholme Road, Masham

Please find attached a pre-development enquiry request form for a site off Shaw Lane, Barnsley. I have raised a PO for £150 the number for which is **P-UK-1139-83648**. In addition, please can you inform me of:

- Any sewer flooding records (DG5) you may have in the vicinity of the site;
- A suitable point of connection for foul and surface water discharge;
- Whether there is existing capacity within the receiving WWTW and if not, an approximate cost for upgrading it.

Many thanks and kind regards,

**Paul Laidler**  
**Principal Engineer**  
**WSP UK**

Development & Transportation  
Three White Rose Office Park, Millshaw Park Lane, Leeds LS11 0DL  
Tel: +44 (0)113 395 6200  
DD: +44 (0)113 395 6302  
Fax: +44 (0)113 395 6201  
Website: [www.wspgroup.com](http://www.wspgroup.com)

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England

Public Sewer Network  
Pre-Planning Enquiry in Yorkshire Water's Sewerage Area  
**Pro-forma for Consulting Yorkshire Water**

|  |                    |
|--|--------------------|
| <b>To</b> New Development Team Sewerage – Planning at Yorkshire Water<br>By FAX to: <b>01274 372834</b><br>By Email to: <b><u>Planning.Sewerage@yorkshirewater.co.uk</u></b><br>Or Post to:     New Development Team Sewerage – Planning, Western House, Halifax Rd, PO Box 500, Bradford, BD6 2LZ | <b>Nr of Pages</b> |
|--|--------------------|

|  |  |
|--|--|
| <b>From</b>  | (Name of Organisation):     WSP - Development & Transportation |
| YWS Account Ref:                                       | WSP041   |
| Postal Address:  | Three White Rose Office Park, Millshaw Park Lane, Leeds        |
| Postcode:  | LS11 0DL   |
| Telephone No:  | 0113 395 6200  |
| Fax No:  | 0113 395 6302  |
| Email:   | paul.laidler@wspgroup.com                                      |
| Contact Name:  | Paul Laidler   |
| Date of Request:                                       | 4 <sup>th</sup> January 2010                                   |
| Our Reference (to be shown on Statement): 11171019-IF5 |  |

Please supply comments on the public sewer network, together with an extract from the Statutory Sewer Map, in respect of the site and proposal detailed below. When invoiced, the appropriate current Standard Charge plus VAT per response will be paid:

|  |                 |
|--|-----------------|
| <b>Site Details</b>  |                 |
| Location:  | Masham          |
| Street Name(s):  | Westholme Road  |
| Town/Area:   | North Yorkshire |
| O.S. Grid Reference:   | SE 532 091      |
| Area of Site (ha or sq.m):   | Approx. 2.7 ha  |
| <b>An O.S. Plan (NTS) with the site clearly indicated is enclosed.</b> |                 |

|   |                                  |
|---|----------------------------------|
| <b>Proposal Details</b>   |                                  |
| Proposed Development Type: <b>Residential</b>   |                                  |
| Impermeable Area: Residential 2.7 ha assumed 70% imp = 1.89 ha  |                                  |
| Anticipated discharges from proposal if unrestricted (in litres per second):                                  |                                  |
| Domestic foul water   : 0.67 l/s DWF  | Trade effluent (if any)   : none |
| Surface Water **       : 5.4 l/s (based on 2 l/s/ha assumed allowable greenfield discharge rate)              |                                  |
| Other information:  |                                  |
| * Delete/Specify as appropriate.  |                                  |
| ** Do not include flows from land drainage. Land drainage must not be discharged to the public sewer network. |                                  |

Tick (✓) box only if the following statement applies:

Please try to fax a full response within 3 working days of receipt. When invoiced, the current Premium Charge plus VAT will be paid in addition to the appropriate current Standard Charge.

*Notes:*

- Ensure an O.S. plan, with the site clearly shown, is attached to this form.
- For rural areas give a 6 figure O.S. grid reference.
- Indicate, where known, information such as: high/low points & the direction(s) of fall(s) of the site, preferred drainage outfall route(s) and proposed site access.



KEY



TITLE

WESTHOLME ROAD, MASHAM

FIGURE No:

SITE BOUNDARY

0 0.01 km  
Google



YorkshireWater



Yorkshire Water Services  
Developer Services  
Sewerage Technical Team  
PO BOX 52  
Bradford  
BD3 7AY

WSP Development Limited  
Three White Rose Office Park  
Millshaw Park Lane  
LEEDS  
LS11 0DL

Tel: 0845 120 8482  
Fax: (01274) 372 834

For the attention of Mr P Laidler

Email:  
Planning.Sewerage@yorkshirewater.co.uk

Your Ref:  
Our Ref: M000797

For telephone enquiries ring:  
Kashif Khan on (0845)120 8482

21st February 2011

Dear Sir,

Westholme Road, Masham, North Yorkshire - Pre-Planning Sewerage Enquiry - Residential - J221385

Thank you for your enquiry received 8th February 2011. Our charge of £70.00 (plus VAT) will be added to your account with us, reference WSP041. You will receive an invoice for your account in due course. Please find enclosed a complimentary extract from the Statutory Sewer Map. This indicates the recorded position of the public sewers. The following comments reflect our view, with regard to the public sewer network only, based on a 'desk top' study of the site:

Development of the site should take place with separate systems for foul and surface water drainage. The separate system should extend to the public sewer.

Foul water domestic waste should discharge to the 225 mm diameter public foul sewer recorded in Westholme Crescent, at a point approximately 75 metres from the site, and/or to the 225 mm diameter public foul sewer recorded in The Oaks, at a point approximately 35 metres from the site.

From the information supplied, it is not possible to determine if the whole site will drain by gravity to the public sewer network. If the site, or part of it, will not drain by gravity, then it is likely that a sewage pumping station will be required to facilitate connection to the public sewer network. If sewage pumping is required foul water discharge must not exceed 6 (six) litres per second to either of the above public sewers.

The developer's attention is drawn to Requirement H3 of the Building Regulations 2000. This establishes a preferred hierarchy for surface water disposal. Consideration should firstly be given to discharge to soakaway, infiltration system and watercourse in that priority order.

Sustainable Drainage Systems (SUDS), for example the use of soakaways and/or permeable hardstanding etc., may be a suitable solution for surface water disposal appropriate in this situation. You are advised to seek comments on the suitability of SUDS in this instance from the appropriate authorities.

Where appropriate, soakaways, swales and infiltration trenches (SUDS) may be adopted as part of the public sewer network. For general conditions for the adoption of SUDS please see the attached sheet. Further information may be seen in the DEFRA publication 'Interim Code of Practice for Sustainable Drainage Systems' (ISBN 0-86017-904-4). If the developer is considering adoption of SUDS they should contact our Developer Services Team on 0845 120 84 82.

There are no adequate public sewers available in the vicinity to accept any surface water discharge from this site. Therefore, I would advise you to contact the Environment Agency/local Land Drainage Authority with a view to establishing a suitable watercourse for discharge.

It is understood that a watercourse, Swinney Beck, is located along the northern boundary of the site. This appears to be the obvious place for surface water disposal.

Please note further restrictions on surface water disposal from the site may be imposed by other parties. You are strongly advised to seek advice/comments from the Environment Agency/Land Drainage Authority, with regard to surface water disposal from the site.

An off-site foul sewer may be required which may be provided by the developer and considered for adoption under Section 104 of the Water Industry Act 1991. Please telephone 0845 120 84 82 for advice on sewer adoptions. Alternatively, the developer may in certain circumstances be able to requisition off-site sewers under Section 98 of the Water Industry Act 1991 for which an application must be made in writing. For further information, please telephone 0845 120 84 82.

Prospectively adoptable sewers and pumping stations must be designed and constructed in accordance with the WRC publication "Sewers for Adoption - a design and construction guide for developers" 6th Edition as supplemented by Yorkshire Water's requirements, pursuant to an agreement under Section 104 of the Water Industry Act 1991. An application to enter into a Section 104 agreement must be made in writing prior to any works commencing on site. Please contact our Developer Services Team (telephone 0845 120 84 82) for further information.

The public sewer network is for domestic sewage purposes. This generally means foul water for domestic purposes and, where a suitable surface water or combined sewer is available, surface water from the roofs of buildings together with surface water from paved areas of land appurtenant to those buildings. Land and highway drainage have no right of connection to the public sewer network. Highway drainage, however, may be accepted under certain circumstances; for instance, if SUDS are not a viable option and there is no highway drain available and if capacity is available within the public sewer network. In this event, the developer will be required to enter into a formal agreement with Yorkshire Water Services under Section 115 Water Industry Act 1991 to discharge non-domestic flows into the public sewer network.

No land drainage to be connected/discharged to public sewer.

There are a number of properties in the vicinity of the site on the DG5 (sewer flooding) Register which date back to 2003 but these appear to have been resolved as there have not been any repeat instances. Reports of sewer flooding in the area on the YW operations database are associated with blockages/collapses on minor sewers.

Any new connection to an existing public sewer will require the approval of Yorkshire Water. You may obtain an application form from our website ([www.yorkshirewater.com](http://www.yorkshirewater.com)) or by telephoning 0845 120 84 82.

All the above comments are based upon the information and records available at the present time. The information contained in this letter together with that shown on any extract from the Statutory Sewer Map that may be enclosed is believed to be correct and is supplied in good faith. Please note that capacity in the public sewer network is not reserved for specific future development. It is used up on a 'first come, first served' basis. You should visit the site and establish the line and level of any public sewers affecting your proposals before the commencement of any design work.

Yours faithfully



Developer Services Team



|  |  |   |
|--|--|---|
| 421938 - 480575  | Map Name : SE2180NE<br>Yorkshire Water,<br>PO Box 500,<br>Halifax Road,<br>Bradford BD6 2LZ<br>Contact Name :<br>K KHAN<br>Contact Tel : | Title<br>Notes  |
| <p>Partial Key</p> <ul style="list-style-type: none"> <li>Foul Sewer = F</li> <li>Combined Sewer = C</li> <li>Surface Water Sewer = SW</li> <li>Trade Sewer = TD</li> <li>Partially Separate = PS</li> </ul> |  | <p>Notes</p> <p>Partial Key</p> <ul style="list-style-type: none"> <li>Foul Sewer = F</li> <li>Combined Sewer = C</li> <li>Surface Water Sewer = SW</li> <li>Trade Sewer = TD</li> <li>Partially Separate = PS</li> </ul> |
| Date Req : 21/02/2011, 14:58:01  | Date Gen : 21/02/2011, 14:58:07  | Source : Sewer Network Enquiry  |

This plan is furnished as a general guide only and no warranty as to the accuracy of the information is given or implied. The plan must not be relied upon in the event of any dispute or litigation in the vicinity of public sewers. No house or property connections are shown.

## Laidler, Paul

---

**From:** Laidler, Paul  
**Sent:** 18 March 2011 13:39  
**To:** Kashif.Khan@yorkshirewater.co.uk  
**Subject:** Westholme Road, Masham

Good afternoon Kashif,

Westholme Road, Masham  
WWTW

Further to our conversation this morning, and to confirm our understanding, the existing waste water treatment works at Masham (to which the proposed development would discharge) has sufficient capacity to accept foul flows from the proposed development.

It would be appreciated if you could confirm back to us that our understanding is correct.

Should you wish to discuss this please contact me.

Kind regards,

**Paul Laidler**  
Principal Engineer, Property & Development

Three White Rose Office Park, Millshaw Park Lane, Leeds, LS11 0DL  
Tel: +44(0)113 395 6302  
Fax: +44(0)113 395 6201

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Gas



**Northern Gas Networks**  
1st Floor  
1 Emperor Way  
Doxford International Business Park  
Sunderland  
SR3 3XR

Telephone No: 0845 634 0508\*  
[www.northerngasnetworks.co.uk](http://www.northerngasnetworks.co.uk)

**24 hour gas escape  
number 0800 111 999**

\*calls will be recorded and may be monitored

Our Ref: 300862601  
Your Ref: E-MAIL ENQUIRY  
Date: 18.01.2011

Craig Cockerham  
Centara Ltd  
Normanton Business Park  
Office 1 Ripley Drive  
Normanton WF6 1QT

Dear Sir / Madam,

**Re: Proposed Works, Westholme Road Development, Masham**

Northern Gas Networks acknowledges receipt of your notice of your intention to carry out work at the above location.

We enclose an extract from our mains records in the location of the area covered by your proposals together with a comprehensive list of precautions for your guidance. This plan shows only those pipes owned by Northern Gas Networks in its role as a Licensed Gas Transporter (GT). Gas pipes owned by other GT's and also privately owned may be present in this area. Information with regard to such pipes should be obtained from the owners. The information shown on this plan is given without obligation, or warranty, the accuracy thereof cannot be guaranteed. Service pipes, valves, siphons, stub connections, etc., are not shown but their presence should be anticipated. Your attention is drawn to the information and disclaimer on these plans. The information included on the enclosed plan should not be referred to beyond a period of 28 days from the date of issue.

You will note the presence of our Low/Medium/Intermediate Pressure gas main in the proximity to your site. NO mechanical excavations are to take place above or within 0.5 m of the Low pressure system, 2m of the medium pressure system and 3metres of the intermediate pressure system. You should where required CONFIRM THE POSITION of mains using HAND DUG TRIAL HOLES.

**A colour copy of these plans and the gas safety advice card should be passed to the senior person on site in order to prevent damage to Northern Gas Networks' plant and potential direct or consequential costs to your organisation.**

Safe digging practices, in accordance with HSE publication HSG47 "Avoiding Danger from Underground Services", must be used to verify and establish the actual position of mains, pipes, services and other apparatus on site before any mechanical plant is used. It is your responsibility to ensure that this information is provided to all persons (either direct labour or contractors) working for you on or near gas apparatus. In addition please follow the advice given on the gas safety card.

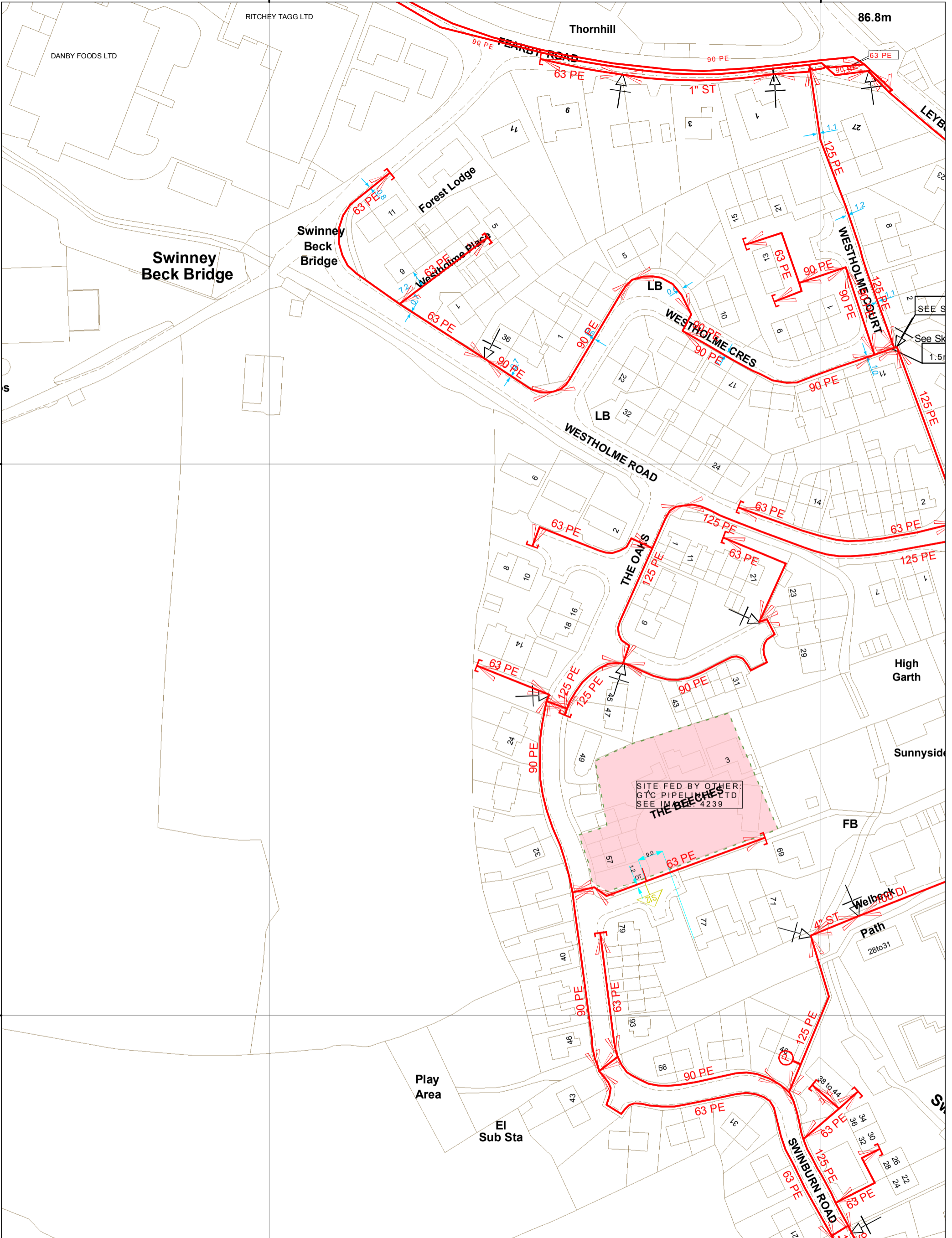
It must be stressed that both direct and consequential damage to gas plant can be dangerous both for your employees and the general public, repairs to any such damage will incur a charge. Your works should be carried out in such a manner that we are able to gain access to our apparatus throughout the duration of your operations.


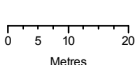





If you have any further enquires please contact the Telephone number below.

Yours faithfully,

SANDRA COLLETT  
Network Records Assistant  
0845 6340508 ( Option 6 )

**Northern Gas Networks Limited**  
Registered in England & Wales No 5167070  
Registered Office  
1100 Century Way Colton  
Leeds LS15 8TU



|  |   |   |   |
|--|---|---|---|
| SCALE:   | 1:1,250   | TITLE : Westholme Road Development Masham   | <br>ArcGIS Server 9.3.1<br>This plan is reproduced from or based on the OS survey map by Northern Gas Networks, with the sanction of the controller of HM Stationery Office. Crown Copyright Reserved. |
| USER ID:   | N800171   | The plan shows those pipes owned by Northern Gas Networks or the relevant Gas Distribution Network in their roles as Licenced Gas Transporters (GT). Gas pipes owned by other GTs, or otherwise privately owned, may be present in this area. Information with regard to such pipes should be obtained from the relevant owners. The information shown on this plan is given without warranty, the accuracy thereof cannot be guaranteed. Service pipes, valves, syphons, stub connections, etc. are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Northern Gas Networks, the relevant Gas Distribution Network, or their agents, servants or contractors for any error or omission. Safe digging practices, in accordance with HS(G)47, must be used to verify and establish the actual position of mains, pipes, services and other apparatus on site before any mechanical plant is used. It is your responsibility to ensure that this information is provided to all persons (either direct labour or contractors) working for you on or near gas apparatus. The information included on this plan should not be referred to beyond a period of 28 days from the date of issue. |   |
| DATE:  | 18/01/2011 15:07:21   |   |   |
| GRID REFERENCE:  | E: 422074<br>N: 480743  |   |   |
| — Low Pressure<br>— Medium Pressure<br>— Intermediate Pressure<br>— Regional High Pressure |  | Some examples of Plant Items:<br>Valve  Depth of Cover  Syphon  Diameter Change  Material Change   | <b>NRSA RESPONSE</b>  |



## **Important Safety Guidance**

Northern Gas Networks is the gas distribution company for the North East, Yorkshire and Northern Cumbria. We own about 37,000km of gas mains, plus other vital equipment, which supply gas to some 2.6 million homes and businesses.

If you or one of your contractors plans to work near gas pipes or other Northern Gas Networks equipment you must let us know.

Damaging gas pipes is dangerous and potentially very expensive. Not only could it lead to a fire or explosion it could result in a large scale loss of gas supplies to local communities.

Safety is Northern Gas Networks' top priority. We need to make sure no-one damages our equipment accidentally and puts either themselves or members of the public at risk.

Our work in this area is covered by the Pipeline Safety Regulations and by the Northern Gas Networks' Safety Case which is approved by the Health and Safety Executive (HSE).

**Our web site [www.northerngas.co.uk](http://www.northerngas.co.uk) has safety guidance booklets which can be downloaded which will assist you when carrying out any works (see below). We strongly recommend that you use these as a reference guide prior to commencing works. They can be found under "Our services", "Plant protection".**

Should you have any difficulties in downloading these documents please give us a ring on 0845 634 0508 option 6.

1/ [Damage Prevention leaflet](#)

2/ [Safe working in the vicinity of high pressure gas pipelines and associated installations.](#)

3/ [Avoiding injury when working near gas pipes up to 7bar.](#)

**Remember: If at any point during your works you ever smell gas call the National Gas Emergency Service free on 0800 111 999.**

Northern Gas Networks employs United Utilities to carry out day-to-day operations on its network.

### **United Utilities plant protection officers**

#### **South**

(including West Yorkshire,  
North Yorkshire and East Riding)

**Neil Hampshire**  
**Northern Gas Networks**  
**Pottery Fields House**  
**Kidacre Street**  
**Leeds**  
**LS10 1BD**

Tel: 0113 276 8272  
Mob: 07721 648503  
E mail: [neil.hampshire@uuplc.co.uk](mailto:neil.hampshire@uuplc.co.uk)

#### **North**

(including Northumberland,  
Tyne & Wear, County Durham,  
Teesside and Northern Cumbria)

**Peter Horsley**  
**Northern Gas Networks**  
**Burradon Operational Unit**  
**Mylord Crescent**  
**Burradon**  
**NE12 0UJ**

Mob: 07747 118744  
E mail: [peter.horsley@uuplc.co.uk](mailto:peter.horsley@uuplc.co.uk)

### **Examples of Higher Risk Works are (but not limited to):**

Any excavation works within 3m of Intermediate and High Pressure Pipelines  
Explosives within 250m of Intermediate and High Pressure Pipelines (30m for lower pressures)  
Piling Works within 15m  
Hot Works (welding, cutting, grinding, grit blasting)  
Excavations within 10m of a pressure reduction unit  
Mechanical Excavation within 0.5m of low/medium pressure mains, 3m for higher pressures (distance measured from the proven position of the gas pipe).  
Excavations deeper than 1.5m  
Trenchless technology  
Chain trenching  
Mains splitting  
Heavy loadings i.e. cranes spoil deposits and heavy construction traffic  
Auger operations, vertical and horizontal  
Demolition works within 150m of Intermediate and High Pressure Pipelines (15m for lower pressures)  
Surface mineral extraction  
Deep mining  
Land Filling  
Hydraulic pressure testing  
Seismic surveys

If you are working in the vicinity of gas pipes above 7 bar in pressure please contact us if you have not already got a copy of 'SSW22 Safe working in the vicinity of Northern Gas Networks high pressure pipelines and associated installations'.

#### Access

Access to sites and to Northern Gas Networks apparatus must be provided at all times. This includes temporary structures and spoil heaps over Northern Gas Networks pipes.

#### Crossing Northern Gas Networks plant

The placing of heavy construction plant, equipment, materials or the passage of heavy vehicles over Northern Gas Networks apparatus is prohibited unless specially agreed protective measures (i.e. the construction of reinforced crossing points) have been carried out. This is particularly important where reductions in side support or ground cover are planned.

#### Working in wayleaves or easements

Work should not be undertaken within a Northern Gas Networks wayleave/easement without the formal written consent of Northern Gas Networks.

In the event of a query your local contact number is:

Tel: 0191 5014349

Fax: 0191 2012384



#### Exposed plant

Where excavations adjacent to gas apparatus affects its support, the apparatus must be adequately supported and protected in consultation with and to the satisfaction of Northern Gas Networks. All exposed plant must be protected from impact. Thrust blocks and supports must not be disturbed.

Where welding or other hot works involving naked flames is contemplated this should only be carried out if it can be done without damaging plastics or protective coatings of pipes. If you smell gas do not start work and call 0800 111 999\*.

Shuttering must be constructed so as to prevent fresh concrete encasing Northern Gas Networks apparatus and to maintain the stated clearances.

If you damage Northern Gas Networks gas pipes or apparatus, including damage to wrapping or sleeving you must call 0800 111 999\* immediately.



## Avoiding injury when working near gas pipes

Measures to stay safe and avoid damage when working near gas pipes operating at pressures of up to 7 bar



The following protective measures must be taken when excavating in the vicinity of Northern Gas Networks apparatus at up to 7 bar pressure.

Reference should be made to the HSE Guidance Note HSG 47 'Avoiding Danger from Underground Services' and to 'Utilities Guidelines on Positioning and Colour Coding of Apparatus'. This document can be downloaded free of charge at [www.njug.org.uk](http://www.njug.org.uk)

To avoid injury to workers you must verify the details given on plans or traced by electronic tracers by hand dug trial holes and mark the position on site with suitable markers.

You must ensure full colour copies of Northern Gas Networks plans are issued to the workers carrying out the excavations.

Every possible precaution must be taken to avoid personal injury or damage to Northern Gas Networks apparatus during the progress of the works. Any costs incurred by Northern Gas Networks for the repair of direct or consequential damage will be recharged in full.

Northern Gas Networks reserves the right to divert any affected apparatus if proved necessary during the course of your works: the cost of which will be recharged.

### Surface boxes/manholes

Do not bury or move Northern Gas Networks surface boxes. Access must be maintained both during and after your works. Northern Gas Networks reserve the right to locate and/or realign any boxes not left in such condition upon completion of your works and at your expense. No manhole cover or other structure is to be built over, around, or under a gas pipe and no work is to be carried out which results in a reduction or increase in cover or protection, without agreement.

### Clearances

No apparatus is to be laid over and along the line of a gas pipe irrespective of clearance. To allow the future repair and maintenance of gas apparatus, a minimum clearance of 250mm or 1.5 times the external diameter of the gas pipe, whichever is the greater, should be maintained between the gas apparatus and any new plant. Where this minimum clearance cannot be achieved, site discussions should be held with Northern Gas Networks to agree a suitable clearance.



### Deep Excavations

If a sewer trench or any other water authority apparatus is to be constructed at greater than 1.5 metres deep near to a buried cast iron main, the model consultative procedure for pipeline construction involving deep excavations applies. Northern Gas Networks is to be provided with detailed drawings showing the line and width of the proposed sewer or other apparatus trench, together with the soil group classifications of the area concerned.

### Minimum Safe Working Distances

If you are carrying out any of the following activities please contact Northern Gas Networks for further guidance :-

Explosions, piling, boring and deep excavations.

### Mechanical excavations

Mechanical excavators (including breaker attachments) **MUST NOT** be used within the following distances from gas mains and services.

| Type of mains and services | Hand excavations required inside |
|----------------------------|----------------------------------|
| Low Pressure               | 0.5 metres                       |
| Medium Pressure            | 0.5 metres                       |
| Intermediate Pressure      | 3.0 metres                       |

Trial holes must be dug by hand to determine the exact location of mains and services in advance of excavating or thrust boring.

### Tree planting

If trees or shrubs are to be planted adjacent to our plant, the selection of the type of tree or shrub and its planting must be considered so that root damage to buried mains or services will be avoided and that damage to trees or shrubs will not be caused by any subsequent excavations for repair and maintenance. Planting schemes should be submitted to Northern Gas Networks for approval. We reserve the right to remove any tree/bush at any time in the future.



### Backfilling

Concrete backfill should not be placed closer than 300mm to apparatus. No concrete or hard material should be placed under or adjacent to any apparatus.

Material used for the surround backfill of Northern Gas Networks plant must conform to the following requirements:

- If sand, it must be well-graded in accordance with BS EN 12620: 2002.
- It must not contain any sharp particles.
- Foamed concrete should not be used.
- It must be laid to a minimum depth of 150mm above the crown of the apparatus. Power ramming should not take place until a 250mm hand rammed layer has been completed over the crown of the pipe.

If you cause a gas leak, or suspect a pipe or equipment is leaking, you must take the following actions immediately:

- Inform Northern Gas Networks immediately on 0800 111 999\*.
- Get everyone away from the immediate vicinity of the escape.
- Do not attempt to stop the escape by filling the hole as gas may enter buildings.
- Ask occupants of buildings adjacent to the escape to leave until it has been established that it is safe for them to return.
- Damage to a service supplying a building may result in gas entering the building. Do not attempt to operate any valves.
- Prevent any approach to the immediate vicinity of the escape.
- Prohibit smoking and extinguish all naked flames or other sources of ignition for at least 15m from the leakage.
- Assist Northern Gas Networks, Police or Fire Services as requested.

Smell gas? Call free  
0800 111 999\*

\*All calls are recorded and may be monitored.

**TO OBTAIN ADVICE WHEN WORKING  
NEAR GAS PIPES, YOUR LOCAL  
CONTACT NUMBER IS  
0191 5014349 or fax 0191 2012384**

## **GAS PIPE SAFETY**

- You must have a site induction and read relevant risk assessments to prevent injury

- You must know where gas pipes are – if in doubt ask your supervisor
- Before digging, gas pipes must be located by hand dug trial holes
- Before using mechanical excavators always locate gas pipes by hand dug trial holes
- You must not use a mechanical excavator within 0.5 metres of a low /medium pressure gas pipe and within 3.0 m of an intermediate pressure gas pipe
- Any concrete blocks near gas pipes must not be removed as they may be part of an anchoring system – if in doubt contact Northern Gas Networks
- Gas pipes must be supported as agreed and detailed in the risk assessment
- Take care to avoid trench collapse and trench sheets must not be placed against metallic gas pipes

- To avoid injury use PPE as detailed in the risk assessment
- Report all damage, no matter how slight. A pipe pulled, but undamaged, may cause a leak in a building with an explosion and injury or loss of life

**STOP – no work until a gas plan is available**

**LOOK – locate gas pipe first by hand excavation**

**LISTEN – to Northern Gas Networks instructions**



If you cause a gas leak, or suspect a pipe or equipment is leaking, you must take the following actions immediately:

- Inform Northern Gas Networks immediately on 0800 111 999\*.
- Get everyone away from the immediate vicinity of the escape.

**SMELL GAS CALL FREE**

**0800 111 999\***

- Do not attempt to stop the escape by filling the hole as gas may enter buildings.
- Ask occupants of buildings adjacent to the escape to leave until it has been established that it is safe for them to return.
- Damage to a service supplying a building may result in gas entering the building. Do not attempt to operate any valves.

**SMELL GAS CALL FREE**

**0800 111 999\***

- Prevent any approach to the immediate vicinity of the escape.
- Prohibit smoking and extinguish all naked flames or other sources of ignition for at least 15m from the leakage.
- Assist Northern Gas Networks, Police or Fire Services as requested.

*\*All calls are recorded and may be monitored*

Designed and produced by Northern Gas Network Communications. UUG2290C T/PR/DP1 Part 2

## Avoiding injury when working near gas pipes



  
Northern  
Gas Networks

Our ref: 71019-IF5/PJL/Preplanning Enquiry

20<sup>th</sup> January 2011



Fulcrum  
Carr House  
Greasebrough Road  
Rotherham  
S61 4QQ

**WSP Development and  
Transportation**

Three White Rose Office Park  
Millshaw Park Lane  
Leeds  
LS11 0DL  
Tel: +44 (0)113 395 6200  
Fax: +44 (0)113 395 6201  
<http://www.wspgroup.com>

WSP Group plc  
Offices worldwide  
[www.wspgroup.com](http://www.wspgroup.com)

Dear Sirs

**WESTHOLME ROAD, MASHAM  
Gas Pre-development / Initial Enquiry**

Please find attached a completed "Application form for multiple gas supplies" for a proposed residential development off Westholme Road in Masham, North Yorkshire. Please find attached a site location plan; the Grid Reference for the site is SE 220807 and the approximate post code is HG4 4EX.

The proposed development is for the construction of approximately 85 residential units and a doctors surgery of approximately 4,800sq.ft. At present detailed house types are not available although we anticipate that a mix of types will include terraced, detached and semi-detached dwellings. It is assumed that construction will begin in 2013 although this may change subject to market conditions. An indicative development areas drawing is provided for your information.

Outline budget estimates / information is required for the following items:-

- Confirmation of any available spare capacity with the existing network that could be used for the development without the need for upgrading the network.
- Any off site network upgrading required to supply the estimated demands (see later for demand requirements and anticipated phasing)
- Provision of on site network infrastructure.
- Any significant diversion works required.

The estimated total gas demand of 1,116,900 kWh / per / year is based on average figures for the current proposals.

Further details are given below under the headings as per your enquiry form.

**Section 1**

We have been appointed by W.E. Jameson and Son to undertake a utilities infrastructure study and prepare a report to support the purchase of the site and to form part of an ultimate planning application. Although the ultimate customer will be W.E. Jameson and Son please direct any correspondence relating to this pre-planning enquiry direct to me.



### Section 3

As the proposed scheme is in the early stages of development require budget estimates to support the purchase of the site and to form part of an LDF Reqs application. It would be appreciated, for the benefit of our client's cost plan, if you could provide cost breakdown for the two elements separately.

### Section 4

The proposed development consists approximately 85 residential units and a doctors surgery of approximately 4,800 sq.ft.

At present detailed house types are not available although we anticipate that a mix of types will include terraced, detached and semi-detached dwellings. For the purposes of this study we have taken a view that the terraced and semi-detached properties will have three bedrooms while the detached houses will have four bedrooms.

At this stage it is anticipated that the development will be built out over several years commencing in 2013. Enclosed is a drawing showing the site area.

#### Domestic

Currently there is no proposed mix of residential dwellings. For the purpose of this assessment the following mix has been assumed:

|               |          |
|---------------|----------|
| Detached      | 20 units |
| Semi-detached | 42 units |
| Terraced      | 23 units |

#### Commercial

A c4,800 sq.ft doctors surgery.

### Section 5

The specific requirements of our client have not been defined in detail at this stage. For the purposes of this study we have considered that all properties will be provided with external meters in semi-concealed boxes. Once more detail is available we will re-consult with you regarding additional details.

### Section 7

No detailed housing construction techniques have been defined at this early stage. For the purposes of this study we have considered that no properties will be constructed using timber frame. Once more detail is available we will re-consult with you regarding additional details.

At this early stage it is currently not envisaged that there will be any on site difficulties or significant constraints. Should any constraints be determined that may affect the installation of the supply to the properties we will re-consult with you to obtain a revised quotation.

### Section 8

At this stage it is anticipated that the development will be built out over several years commencing in 2013. The progress of the development will be subject to market conditions.

### Section 9

A site location plan is enclosed that includes the location of the overall site. Currently the proposed layout of the site is not detailed sufficiently to give information on:

- Individual property boundaries
- Meter point locations

I hope the information presented is sufficient for you to review the provision of gas to the site and look forward to receiving information on the above issues. Should you need any additional information or wish to discuss this please feel free to contact me.

Yours faithfully

A handwritten signature in blue ink, appearing to be 'P. Laidler', written in a cursive style.

**Paul Laidler**  
**Principal Engineer**  
DDI: 0113 395 6302

Encs - Completed "Application form for multiple gas supplies" form  
- Site Location Drawing

# Application form for multiple gas supplies

If you require supplies to 25 or more properties simply tick this box  and complete sections 1, 2, 9 & 10 only, send it to us via email, fax or freepost, and we will then contact you to discuss your requirements.

The details you need to return this form to us can be found on the last page of this application form. Please call our Customer Care team on 0845 641 3010 if you have any questions about completing this form or require any further assistance establishing your gas requirements; we will be happy to help.

## 1. CUSTOMER DETAILS *REFER TO COVERING LETTER*

|  |                    |                                   |  |
|--|--------------------|-----------------------------------|--|
| Your Name: Paul Laidler  |                    | Your Reference: 11171019-IF5      |  |
| Company Name (if applicable): WSP Development and Transportation |                    |                                   |  |
| Address: Three White Rose Office Park, Millshaw Park Lane, Leeds |                    | Landline Telephone: 0113 395 6302 |  |
|  |                    | Mobile Telephone:                 |  |
|  |                    | Email: paul.laidler@wspgroup.com  |  |
| Post Code: LS11 0DL  | Fax: 0113 395 6201 | Today's date: 20/1/2011           |  |

## 2. SITE DETAILS

Is the site address the same as the customer address? YES  NO   
If NO, please provide details below:

|   |                           |
|---|---------------------------|
| Site Address: Westholme Road, Masham, North Yorkshire | Name of Site Contact: N/A |
|   | Landline Telephone: N/A   |
|   | Mobile Telephone: N/A     |
| Post Code: HG4 4EX                                    | Email: N/A                |

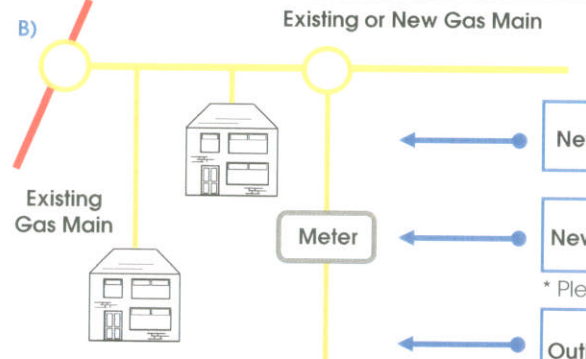
What is the date that you require gas to the first property: 2013

## 3. YOUR NEEDS *REFER TO COVERING LETTER*

Just tick any of the boxes in A) or B) below to indicate which service(s) you require.

A) If you **only** require gas **disconnections** please tick this box  and move directly onto section 9. However, if you require gas disconnections **and** new supplies please tick this box  and continue Completing the form.

**B)**



Existing or New Gas Main

Existing Gas Main

Meter

Your appliances:  
e.g. Domestic Central Heating,  
Commercial Catering Equipment,  
Industrial Blast Furnaces.

Tick all of those applicable

New multiple supplies

New multiple supplies with meter installations\*

\* Please see note overleaf about gas suppliers

Outlet pipework\*\* (The pipework from your meter to your appliances)

\*\*Industrial, large commercial and large public sector properties only.

\*To install your meters we require the name of your gas supplier.

If you **don't** have a gas supplier and would like **Fulcrum** to arrange one on your behalf please tick this box

If you **do** have an existing gas supplier please provide their name:

Gas Supplier :

#### 4. PROPERTY TYPE/GAS LOAD INFORMATION

*REFER TO COVERING LETTER*

about the property

Please give the number of each type of property:

Domestic  Non-Domestic

Are there any existing live gas supply in any the properties / buildings? YES  NO

If **YES**, please provide the MPRN numbers if you know them :

MPRNS:

#### your gas load requirements

Do you already know your gas load requirements?

YES  NO






If **YES**, please complete **Table 1** immediately below and move directly onto section 5:

**Table 1**

| Property Type | No. of each type | Total Hourly Gas Load (KW) | Total Annual Gas Load (KWh) |
|---------------|------------------|----------------------------|-----------------------------|
|               |                  |                            |                             |
|               |                  |                            |                             |
|               |                  |                            |                             |
|               |                  |                            |                             |
|               |                  |                            |                             |
|               |                  |                            |                             |
|               |                  |                            |                             |
| Totals:       |                  |                            |                             |

If **NO**, please complete **Tables 2 and 3** for any **Domestic properties** and **Tables 4 and 5** for any **Non-Domestic properties**.

**Table 2**

| Property Type   | Number of Bedrooms | Number of each requiring a new gas supply |
|---|--------------------|---|
| Flats          | 1                  |   |
|   | 2                  |   |
|   | 3                  |   |
| Bungalow       | 2                  |   |
|   | 3                  |   |
| Terraced       | 2                  |   |
|   | 3                  | 20  |
|   | 4                  |   |
| Semi-Detached  | 2                  |   |
|   | 3                  | 42  |
|   | 4                  |   |
| Detached       | 2                  |   |
|   | 3                  |   |
|   | 4                  | 23  |

Will the properties have any additional equipment e.g. swimming pools YES  NO

If YES, please provide details in **Table 3** below:

**Table 3**

| Equipment | Hourly Gas Load (KW) | Annual Gas Load (KWh) |
|-----------|----------------------|-----------------------|
|           |                      |                       |
|           |                      |                       |

If you require connections to any **Domestic** properties that are not covered in the 'property type' table above e.g. **5 or 6 bedroomed properties**, or will have any additional equipment and your gas requirements are not known, simply complete the remaining sections of the form making sure you have added telephone contact details in section 1, send it back to us at and we will contact you to discuss your requirements.

### Non-Domestic Properties

What business / businesses will the Non-Domestic properties be used for:

4,800 sq.ft GFA doctors surgery

Please tick the boxes and complete **Table 4** below to indicate what the highest gas load in each property will be used for:


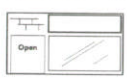

**Table 4**

| Number of properties |
|----------------------|
| 1                    |
|                      |
|                      |

- a) Central heating/Hot water
- b) Commercial catering equipment (e.g. restaurant/takeaway)
- c) Manufacturing equipment

| Meter Types             |                            |                            |                            |                            |                              |                              |
|-------------------------|----------------------------|----------------------------|----------------------------|----------------------------|------------------------------|------------------------------|
| <b>U6</b><br>(64KW max) | <b>U16</b><br>(173 KW max) | <b>U25</b><br>(270 KW max) | <b>U40</b><br>(433 KW max) | <b>U65</b><br>(660 KW max) | <b>U100</b><br>(1072 KW max) | <b>U160</b><br>(1473 KW max) |

**Table 5**

| Category (please tick)                | Property Type   | Number required | Typical Gas Load   |
|---------------------------------------|---|-----------------|--|
| 1 <input checked="" type="checkbox"/> |  | 1               | A small non-domestic property will typically use no more than 64 KW, requiring no larger than a U6 meter. For example small shops that require gas for central heating and hot water only. |
| 2 <input type="checkbox"/>            |  |                 | Non-domestic properties such as restaurants using commercial catering equipment, will typically require U16 meters and above.  |
| 3 <input type="checkbox"/>            |  |                 | Larger non-domestic properties, with higher or specialist gas load requirements (e.g. for manufacturing equipment), will typically require U25 meters and above.                           |

Thank you for this information, we may need to contact you to determine your exact gas load requirements.

Please continue to complete the application form.

### 5. METER BOXES & METER HOUSING *REFER TO COVERING LETTER*

Meters can be fitted either inside your property or alternatively they can be fitted outside your property in a meter box or meter housing.

Meter boxes must be used for U6 meters fitted outside (up to loads of 64kW).

Meter housing is used for meters larger than a U6 fitted outside (loads over 64kW).

How many meters do you require?

Inside\*  Outside

If any are **inside**, are they all required in ground floor rooms?

YES  NO

If **NO**, please continue completing the form but we may need to contact you to discuss your options.

\*We may not be able to provide a quotation to an internal position for certain projects, this is to comply with the Gas Safety (Installation and Use) Regulations (GSIUR). We will discuss this with you when our Technical Designer gives you a call.

If **inside** and all in ground floor rooms, the meter positions will be installed in this manner:

**Internal\***

Number required



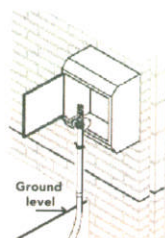
\*No meter housing is required for internal positions (for either U6 or larger meters).

If U6 meters are to be installed **outside**, please use the boxes below to confirm the type and number of meter boxes that will be fitted:

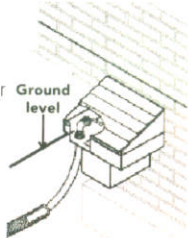
Surface Mounted\*

Semi Concealed\*\*

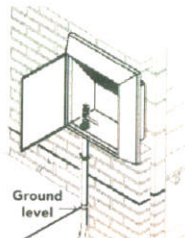
Built-in(Recessed)\*\*\*



\*We fit surface mounted meter boxes.



\*\*We fit semi concealed meter boxes and recommend that you do **not** fit your own boxes.



\*\*\*Builders supply and fit built-in boxes, if you require built-in meter boxes you will need to consult your builder.

If you or your builder are fitting built in boxes please tell us how many you will be fitting:

Number Required

Number Required

Number

Do you require us to provide and fit these meter boxes?

YES  NO

Would you like us to provide larger external meter housing? (for meters larger than a U6)

YES  NO

If **YES**, how many are required?

## 6. ON-SITE EXCAVATION

On your property or site do you want to dig the trench for the pipes?

YES  NO

## 7. DEVELOPMENT TYPE

Will the gas supplies be going to:

Existing Properties (including extensions)  New Builds

If **new**, are the properties already built?

YES  NO

Are any of the buildings timber framed?

YES  NO

Is it likely that the gas supplies will have to cross someone else's private land?

YES  NO

Are there likely to be any other on site difficulties or constraints?

YES  NO

If **YES**, please provide brief details:





### 8. PROPOSED DEVELOPMENT OF THE SITE *REFER TO COVERING LETTER.*

|   | 2009 | 2010 | 2011 | 2012 |
|---|------|------|------|------|
| Number of Properties Requiring a Gas Supply |      |      |      |      |

### 9. ATTACHMENT CHECKLIST *REFER TO COVERING LETTER.*

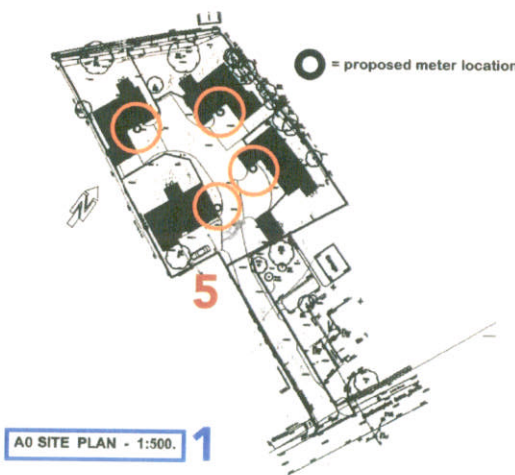
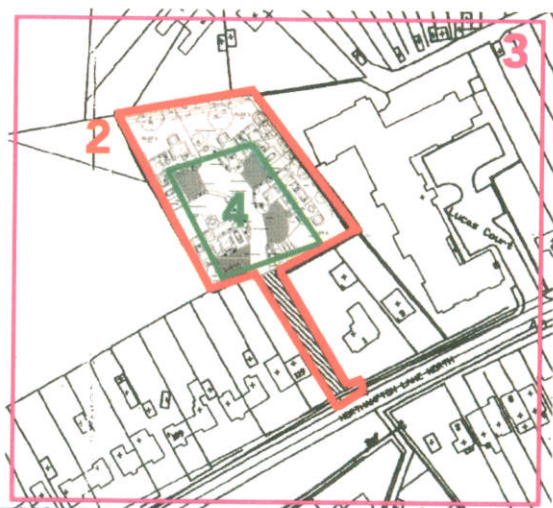
Please make sure you have included the following attachments when you return this application form:

#### NEW BUILDS

Scaled site plan with marked meter positions and a site location drawing including the OS Map Co-ordinates (if known):

#### SITE PLAN CHECKLIST

- 1. The plan shows the scale.
- 2. The site boundary is clearly identified.
- 3. The surrounding geography is shown.
- 4. The new buildings are shown within the site boundary.
- 5. The meter positions are marked.



Please note:

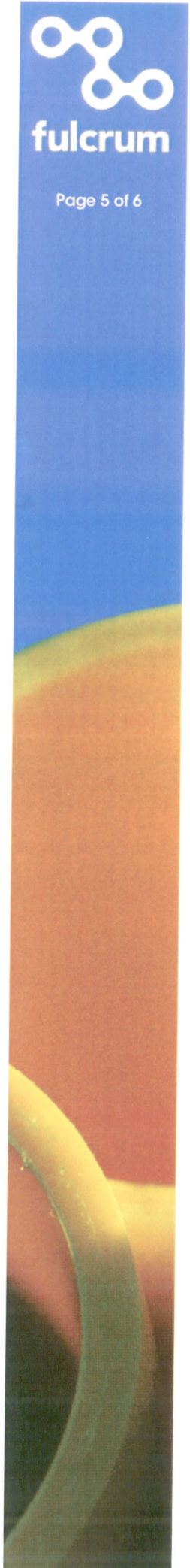
- We would prefer you to **email your plans** in an electronic format, such as a PDF, along with your application form. This saves time when we're designing the infrastructure to your site and by saving paper, we're helping the environment too.
- For **new builds** we utilise your scaled site plan to create the design. In order to ensure compatibility with our design system we require a black and white plan (we cannot accept coloured plans or faxed scale drawings).

#### EXISTING PROPERTIES

Site location drawing, showing surrounding geography, with marked meter positions:

#### DISCONNECTIONS

Site location drawing with existing meter positions:



## 10. HOW DID YOU HEAR ABOUT US?

You are an existing customer

From your gas supplier

From a colleague/friend

Internet search

A promotional campaign

**Please provide the campaign reference number (if known)**

REF:

One of our Regional Sales Managers

Other

If 'other' please provide details below:

Would you like to receive email updates about Fulcrum? YES  NO

Should we need to contact you by telephone, when is this best for you?

Day

Evening

Weekends

Any details:

**ONCE COMPLETED, PLEASE RETURN THIS FORM BY EMAIL, FREEPOST, OR FAX TO:**

**EMAIL:** [enquiries@fulcrum.co.uk](mailto:enquiries@fulcrum.co.uk)

**POST:** Send your completed application form addressed to:

Freepost RSBU-LGHR-CESL

Fulcrum  
Carr House  
Greasbrough Road  
Rotherham  
S61 4QQ

**FAX:** 0845 641 1808

Further copies of this form can be printed directly from [www.fulcrum.co.uk](http://www.fulcrum.co.uk) or simply call us on 0845 641 3010 and we'll post you a copy.

## Thank you for choosing fulcrum



KEY



TITLE  
WESTHOLME ROAD, MASHAM

FIGURE No:  
SITE BOUNDARY

0 0.01 km  
Google

Carr House  
Greasbrough Road  
Rotherham  
South Yorkshire S61 4QQ

T 0845 641 3010  
F 0845 641 1808  
E enquiries@fulcrum.co.uk  
I www.fulcrum.co.uk

Quotation Reference: 4183181/1  
Your Reference: 71019-IF5/PJL/PreplanEnquiry  
Date: 16/03/2011

Mr. Paul Laidler  
W S P Group Ltd  
3 White Rose Office Park  
Millshaw Park Lane  
Leeds  
LS11 0DL

## your indicative price quotation

Dear Mr. Paul Laidler,

**RE: Development At Westholme Road, Masham, Ripon, North Yorkshire, HG4 4EX**

Thank you for giving us the opportunity to provide an indicative price quotation for works at the above site.

I am pleased to provide you with the following indicative price for the works as detailed below:

Lay new mains and services to 85 domestic properties and 1 doctor's service. Each service is to terminate to a 3/4" ecv in either a surface mounted or semi concealed meter box.

The indicative price to carry out the works is: **£46,994.15**

**This price will be subject to VAT at the appropriate rate as set out by HM Customs and Excise.**

This figure is indicative and does not represent an offer to carry out the works. If a firm quotation is requested, Fulcrum may provide a price that is different from the amount indicated.

## what you need to do now

If you would like to proceed and make this indicative price quotation a firm quotation, or if you would like us to undertake a detailed design study, please contact your Fulcrum Bid Officer, Adam Wells on T 01709 845585 who will be pleased to help.

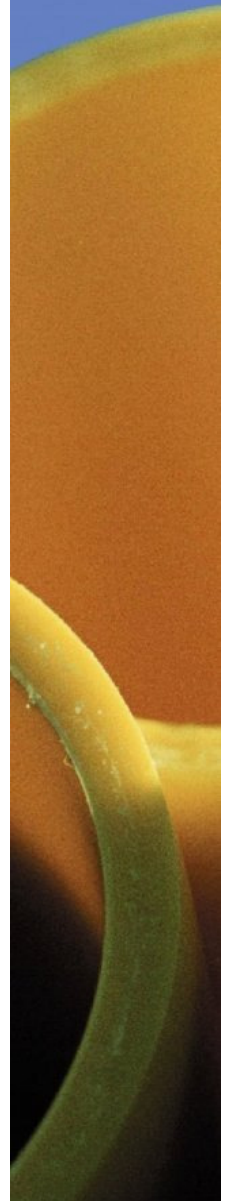
## Thank you for choosing fulcrum

Yours sincerely,



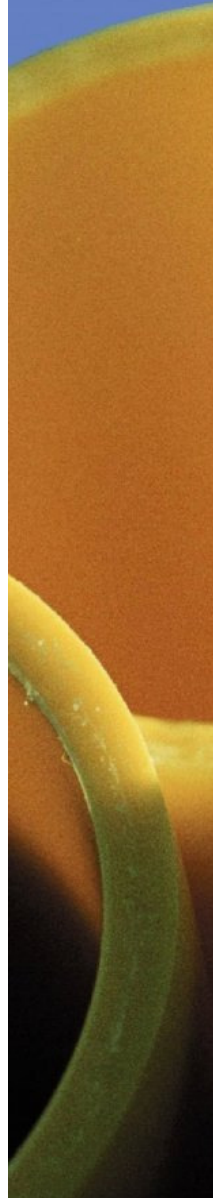
**Lee Clarke**  
Commercial Bid Manager

Fulcrum is a trading name for Fulcrum Infrastructure Services Limited  
Registered in England No: 6006363  
Registered Office: Pellipar House, 1st Floor, 9 Cloak Lane, London EC4R 2RU  
Incorporated in England and Wales.



## the assumptions

1. Fulcrum is assumed to excavate, backfill & reinstate all trenches required outside the site boundary.
2. It is assumed that the customer will excavate, backfill & reinstate all trenches required within the site boundaries.
3. The developer would be required to provide suitable provision for all work and clear working access to site at all times.
4. Termination points assumed.
5. Meter installation is included within this indicative price.
6. It is assumed that no easements or permissions are required to carry out any of the proposed works.
7. It is assumed that any CHP, compressors or boosters etc. to be connected to the proposed infrastructure will be done in accordance with all appropriate legislation/policies etc. to maintain the integrity and security of the existing infrastructure (this may mean upsizing of some or all of the proposed new infrastructure) and no additional design parameters have been included for.
8. The assumption that there will be sufficient capacity in the existing network.
9. This indicative price quotation does not take into account, or include for, any specialist works e.g. rail crossings, third party underground plant, design studies, reinforcement, diversions or disconnections etc. that may be required.



## **Safe Working in the Vicinity of Gas and Electricity Networks**

(Refer to the HSE Guidance Document HSG47)

1. Ensure that you have obtained detailed plans of existing and proposed gas and electricity networks.
2. The position of the networks should be pinpointed as accurately as possible by reference to the plans and by means of a locating device, which has been tested and calibrated within the last twelve months.

Excavation work should be carried out carefully and follow recognised safe digging practices. Once a locating device has been used to determine position and route, excavation may proceed; trial holes should be dug using suitable hand tools to confirm the position of buried networks. During excavation the locating device should be reused to check position and route of buried apparatus.

3. Hand-held power tools can damage buried gas pipes and should be used with care until the exact position of a buried pipe has been determined. They may only be used to break a paved or concrete surface above the network, unless there are any indications that the network is particularly shallow or close to the surface to be broken up.
4. No manhole, chamber or other structure should be built over, around or under the network. Such structures, other pipes, ducts and cables should be laid to provide a minimum clearance from the network of 300mm or 1.5 times the diameter of the network, whichever is the greater. No work should be carried out if this minimum clearance cannot be met or which results in a reduction of cover or protection over the network, without first consulting GTC.
5. Where an excavation uncovers a network the backfill should be adequately compacted, particularly beneath the network, to prevent any settlement, which would subsequently damage the network. Backfill material adjacent to the network should be selected fine material or sand, containing no stones, bricks or lumps of concrete etc. and should be suitably compacted to give comparable support and protection to that provided before excavation. No power compaction should take place until 200mm cover of selected fine fill has been suitably compacted by hand tools.
6. If the road construction is close to the top of the network, GTC should be asked about necessary precautions. The road construction depth should not be reduced without permission from the local Highway Authority.

## Precautions for Gas Networks

7. The depth of cover for gas mains is normally 750mm in carriageways and grass verges and 600mm in footways. The depth of cover for gas services is normally 450mm. Remember these covers are to finished level, you may be working in an area, which will be made up or lowered at a later date.
8. Plastic gas pipes should be located by hand digging before mechanical excavation begins. When the positions and depth of the pipes have been determined, work can proceed.
9. The danger created by damaging a gas pipe with an excavator is much greater than if the damage is done with a hand-held power tool (the opposite is true for work near electricity cables and this is reflected in the different safe digging practices). Gas pipes may have projections such as valve housings, which are not shown on the plans and to allow for this mechanical excavators should not be used within 500mm of a gas pipe.
10. If a gas leak is suspected, the following action should be taken immediately:
  - Remove all people from the immediate vicinity of the escape. If the service connection to a building or the adjacent main has been damaged, warn the occupants to leave the building, and any adjoining building, until it is safe for them to return. It is important to note that a mechanical excavator may not only cause damage/leakage at the point of impact. For example, damage to a service connection outside the building may result in further, unseen damage to the connection inside the building. Gas leaking from the damage inside or gas travelling along the line of the service connection pipe from outside the building may cause a build-up of gas within the building.
  - Prohibit smoking, and extinguish all naked flames and other sources of ignition i.e. stop excavator and compressor engines within at least 5.0m of the leak.
  - Inform National Grid Gas by dialling 0800 111 999
  - Remain on site.
  - Assist National Grid Gas staff, Police or Fire Services as requested.
11. Where gas pipes cross or are parallel and close to excavations, changes in backfill etc. may cause differential ground settlement and increased stress in the pipe. For pipes parallel and close to excavations, the degree of risk depends upon the depth of the excavation, the distance of the pipe from the excavation, the type of soil and any excessive loading from heavy construction plant and materials. Wherever excavation works may affect the support of the gas pipe or cause excessive loading over the gas pipe then GTC must be consulted.



12. No concrete or other hard material should be placed or left under or adjacent to any gas pipe as this can cause pipe fracture at a later date. Concrete backfill should not be used within 300mm of a gas pipe.
13. Where an excavation uncovers a gas pipe with a damaged wrapping, GTC should be told, so that repairs can be made to prevent future corrosions and leakage.
14. Pipe restraints or thrust blocks close to gas mains should never be removed.
15. Anyone who carries out work near underground gas plant should observe any specific requirements made by the site manager, and ensure that access to the plant by National Grid Gas and GTC staff is available at all times. No unauthorised repairs to gas pipes should be made.

### **Precautions for Electricity Networks**

16. In most cases there will be no permanent surface marker posts or other visible indication of the presence of a buried cable. Even if no cables are shown on plans or detected by a locator, there may still be cables present, which could be live and a close watch should be kept for any signs which could indicate their presence such as marker tape, tape tile, concrete tiles and wooden battens. Any marker which is disturbed by our excavations must be replaced once work is completed.
17. Typically underground cables are laid in trenches between 450mm and 1.0m deep, although some high voltage cables will be deeper, however, depths should never be assumed.
18. A cable is positively located only when it has been safely exposed. Even then, digging should still proceed with care as there may be other cables adjacent or lower down.
19. Occasionally, cables are terminated in the ground by means of a seal, sometimes with external mechanical protection. These "pot ended" or "bottle ended" cables should be treated as live and should not be assumed to be abandoned or disused. They can be difficult to detect with locators even when "live".
20. Using hand held power tools to break up hard surfaces often leads to accidents. Where practicable, such power tools should only be used 500mm or more away from the indicated line of a cable buried in or below a hard surface. Having done so, the cable should then be positively located by careful hand digging under the hard surface. The hard surface should be gradually removed until the cable is exposed. If the cable is not exposed then it must be assumed to be embedded within the surface. Where possible a cable locator should be used as a depth guide down the side of the excavation.

21. Because of the difficulty in confirming depth, hand held power tools should never be used over the cable unless either:
  - the cable has already been exposed by digging under the surface to be broken out and it is at a safe depth (at least 300mm) below the bottom of the hard surface material;  
or
  - physical precautions have been taken to prevent the tool striking the cable.
22. Excavating close to electricity cables buried in concrete is dangerous and should not be undertaken unless the cable(s) have been isolated. For this reason alone electricity cables should not be buried in concrete.
23. Using mechanical means to break up concrete can cause damage to cables and if the cable is live, anyone present is likely to be injured.
24. Where mechanical excavators are used in the possible vicinity of underground cables, the work should be arranged so that damage to cables is avoided so far as is reasonably practicable and so that everyone is kept well clear of the excavator bucket while it is digging. Drivers should have been instructed to stay in the cab if a cable is struck. If they have to leave the cab, they should jump clear. If drivers climb down, they may be electrocuted. When a cable is struck, a watch should be kept on the machine and no one should go down into the excavation or approach the mechanical excavator or the cable until GTC are contacted and arranged for the damaged cable to be made safe.
25. Where cables have been exposed:
  - any damage should be reported to GTC immediately and work should not be undertaken in the vicinity of a damaged cable until GTC has investigated its condition;
  - for more than 1.0m and they cross a trench, support should be provided. If the exposed cable length is shorter than 1.0m support should still be considered if joints have been exposed or the cable appears otherwise vulnerable to damage. Where advice and help is needed contact GTC;
  - suitable precautions should be taken to prevent damage from ongoing work in the excavation. This may involve for example the use of physical means (e.g. timber boards, sandbags etc) to prevent mechanical damage. Materials or equipment which could damage or penetrate the outer sheath of the cable should not be used. Cables lying in the bottom of an excavation are particularly vulnerable and should be protected by nail free wooden planks, troughing or other suitable means;
  - cables should not be moved aside unless the operation is supervised by GTC;
  - precautions should be taken to prevent access by members of the public.

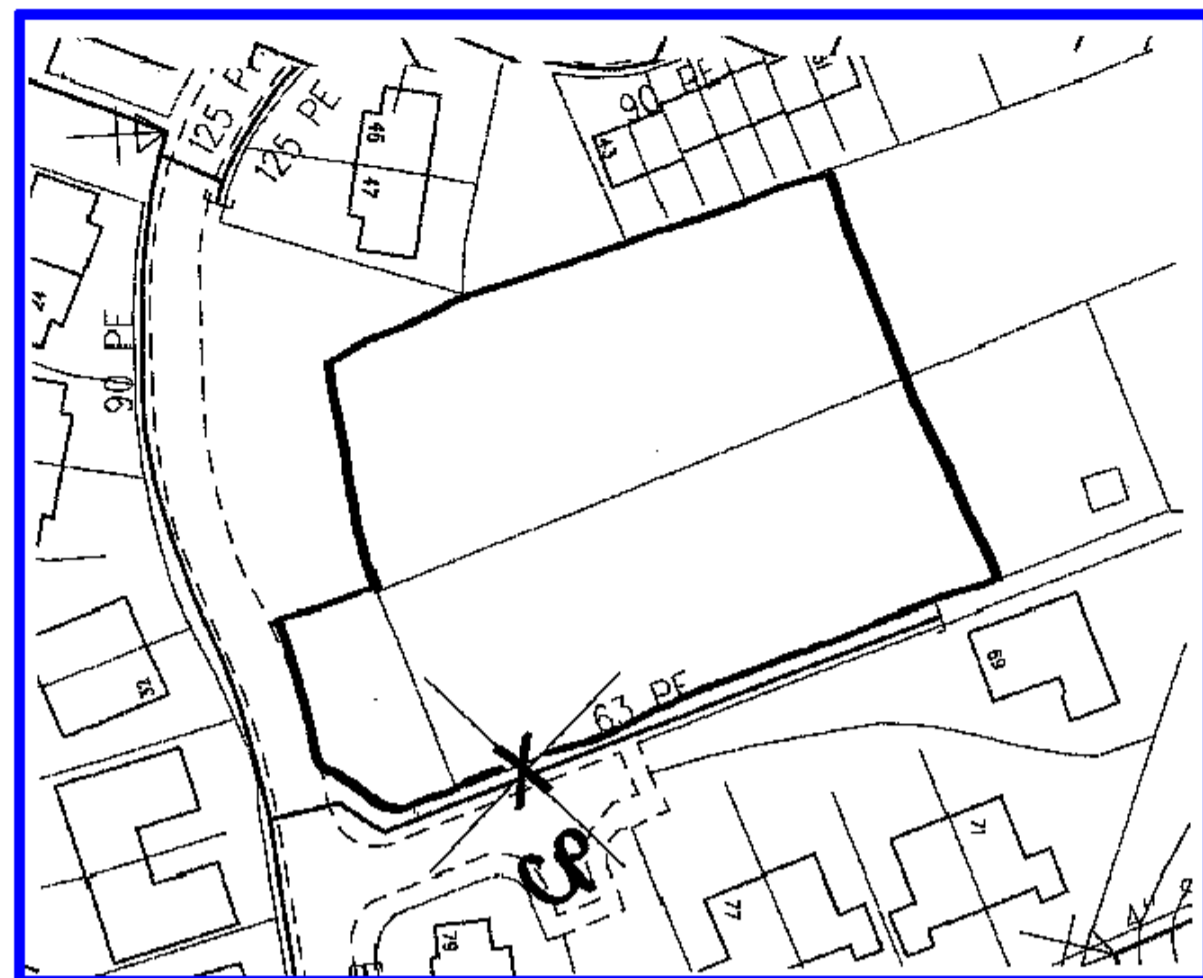
**CONFIDENTIALITY**

The information shown upon this plan is the property of British Gas and is to be held in the strictest confidence by the recipient. NO COPY is to be made without the written permission of British Gas.

**EXISTING PLANT AND EQUIPMENT**

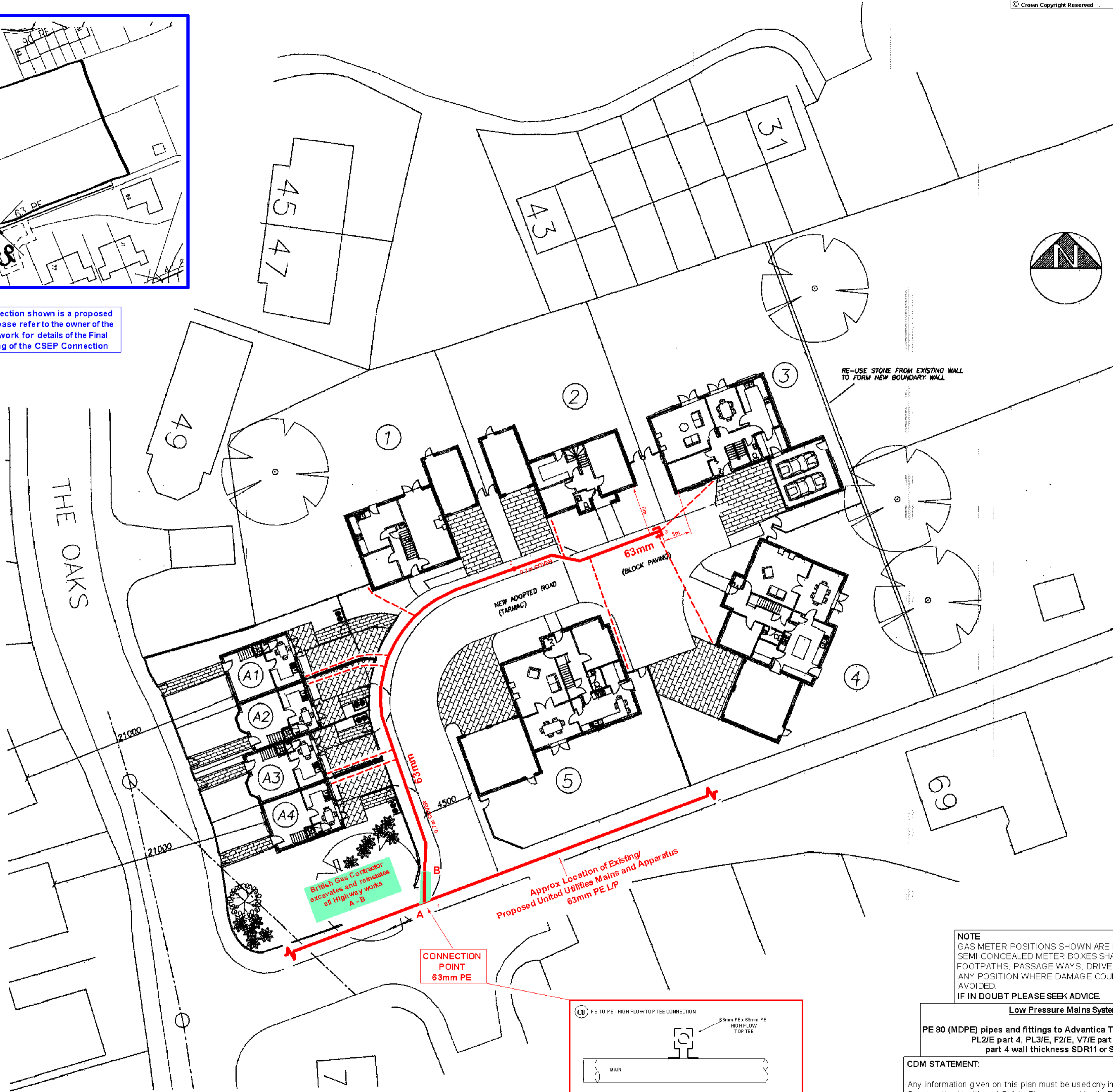
The information shown upon this plan is given without obligation or warranty, the accuracy thereof cannot be guaranteed. Where service pipes are not shown their presence should be anticipated. No liability of any kind whatsoever is accepted by British Gas or its agents or servants for any error or omission. The actual position of mains and services must be verified and established before any mechanical plant is used or excavation undertaken.

**DO NOT SCALE OFF THIS DRAWING**

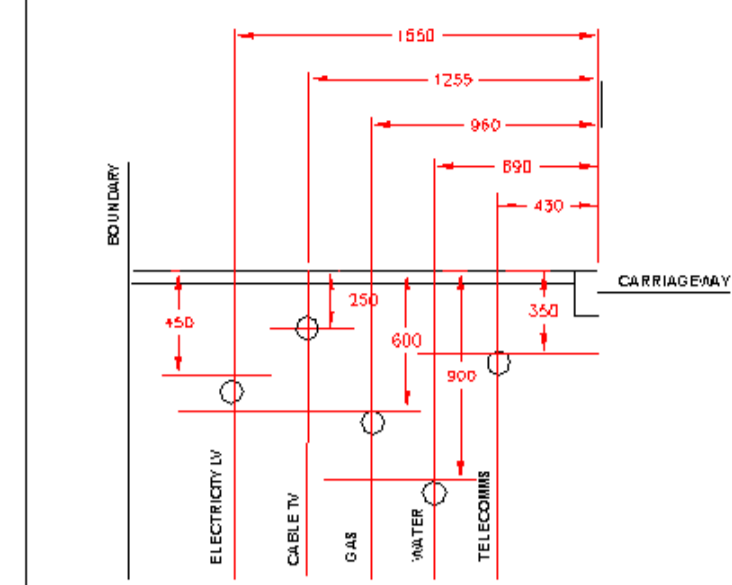


The CSEP Connection shown is a proposed design only. Please refer to the owner of the Upstream Network for details of the Final As-Built drawing of the CSEP Connection

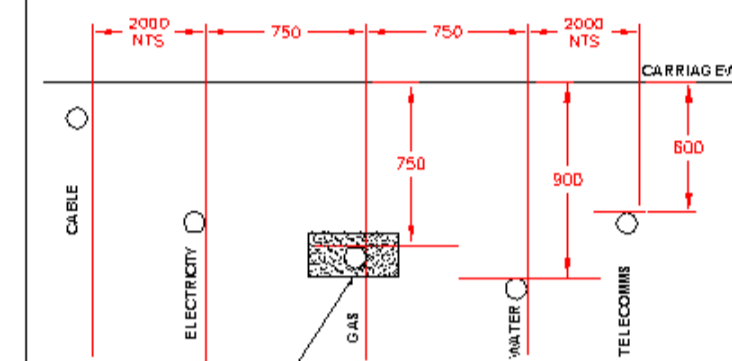
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**NOTES**



**TYPICAL FOOTPATH SECTION TO SHOW RELATIVE POSITIONS**  
NTS



**TYPICAL ROAD SECTION TO SHOW RELATIVE DUCT POSITIONS**  
NTS

**Key**

**GAS**

- Proposed LP Main < 75 mbar
- Existing LP Main < 75 mbar
- Proposed H.P. Main 75 mbar - 2 bar
- Existing H.P. Main 75 mbar - 2 bar
- Proposed I.P. Main > 2 bar - 7 bar
- Existing I.P. Main > 2 bar - 7 bar
- Existing H.P. Main > 7 bar - 24 bar
- Existing H.P. Pressure Main > 24 bar - 38 bar
- Existing H.P. Pressure Main > 38 bar - 70 bar

Change of size

Pressure Regulator

Gas Main Duct Sizes

Mains

- 190mm PE 300mm/10"
- 125mm PE 200mm/8"
- 90 & 63mm PE 150mm/6"

Services

- 32 & 25mm PE 75 or 100mm / 3" or 4"

| NOTES | DATE |
|-------|------|
| 1     |      |
| 2     |      |
| 3     |      |

**gtc pipelines limited**  
Network or part thereof to be owned and operated by the GTC Pipelines Limited on commissioning  
Network: N9000431-1  
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**Design and constructed by British Gas**  
3 The Square  
Stockley Park  
Uxbridge, Middlesex  
UB11 1BC  
Tel No: 01784 874165  
Design Copyright © British Gas

**PROJECT**  
Sunnyside (R/O)  
Red Lane (27)  
Masham  
Ripon, North Yorkshire, HG4 4HH

**TITLE**  
**GAS LAYOUT**

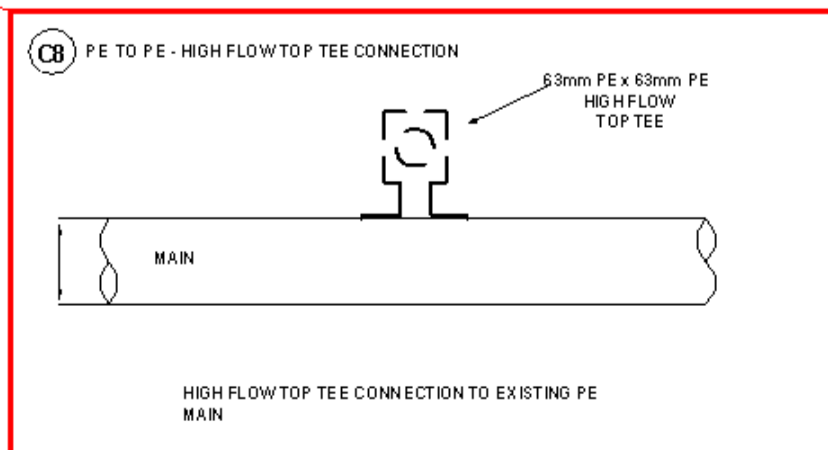
**DATE:** 08/12/2006 **SCALE:** 1:200  
**DESIGNED BY:** KS **DRAWN BY:** AG  
**APPROVED BY:** JH  
(Print Name)

**DRAWING NO:** PPS32090-A1-001 **SHEET SIZE:** A1

**NOTE**  
GAS METER POSITIONS SHOWN ARE INDICATIVE ONLY. SEMI CONCEALED METER BOXES SHALL NOT OBSTRUCT FOOTPATHS, PASSAGE WAYS, DRIVES OR BE A TRIP HAZARD. ANY POSITION WHERE DAMAGE COULD OCCUR SHALL BE AVOIDED.  
**IF IN DOUBT PLEASE SEEK ADVICE.**

**Low Pressure Mains System**  
PE 80 (MDPE) pipes and fittings to Advantica Technologies PL2/E part 1, PL2/E part 4, PL3/E, F2/E, V7/E part 1 and LC8/E part 4 wall thickness SDR11 or SDR17.6.

**CDM STATEMENT:**  
Any information given on this plan must be used only in conjunction with the Construction Health and Safety Plan prepared by the Principal Contractor. The Planning Supervisor must be consulted before any construction work commences. Any changes in design, or conditions arising or information becoming known at a later date that may adversely impact upon health and safety of any person, must be notified to the Planning Supervisor and Principal Contractor as soon as possible.



## Craig Cockerham

---

**From:** andrew.rulton@gtc-uk.co.uk  
**Sent:** 16 February 2011 11:24  
**To:** craig.cockerham@centara-ltd.com  
**Subject:** NRSWA Not Affected Response

Site Ref: Westholme Road Development

Date: 16/2/2011

Dear Sir / Madam

**Re:** Westholme Road Development, Masham Grid Reference – 422035, 480746  
Thank you for your enquiry concerning apparatus in the vicinity of your proposed work.

GTC/ENC can confirm that we have **no** apparatus in the vicinity but please note that other Gas Transporters/Electricity Distributors may have and that you should ensure that all transporters/ distributors have been consulted.

All future plant enquiries must contain accurate Easting and Northing references to enable us to process your enquiry efficiently.

Yours sincerely

Andrew Rulton  
Engineering Support Officer  
**GTC**

---

**NOTE:**

This E-Mail originates from GTC, Energy House, Unit 23, Woolpit Business Park, Woolpit, Bury St Edmunds, Suffolk, IP30 9UP  
(GTC) The Gas Transportation Company Limited is a company registered in Guernsey, Channel Islands, registered number 29431. VAT registered number 688 8971 40

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Thank you

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Please be environmentally aware. Do you really need to print this e-mail?



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# Electricity

Our ref: 71019-IF1/PJL/Preplanning Enquiry

20<sup>th</sup> January 2011



CE Electric UK  
Network Connections  
PO Box 329  
Middlesborough  
TS3 8DG

**WSP Development and  
Transportation**  
Three White Rose Office Park  
Millshaw Park Lane  
Leeds  
LS11 0DL  
Tel: +44 (0)113 395 6200  
Fax: +44 (0)113 395 6201  
<http://www.wspgroup.com>

WSP Group plc  
Offices worldwide  
[www.wspgroup.com](http://www.wspgroup.com)

Dear Sirs

### **WESTHOLME ROAD, MASHAM APPLICATION FOR ELECTRICITY SUPPLY**

Please find enclosed a completed application form for electricity connection for a proposed development adjacent to Westholme Road, Masham, North Yorkshire. Further details are given below under the headings as per your enquiry form.

#### **Section A - Your Details**

We have been appointed by the W.E. Jameson and Son to undertake a utilities infrastructure study and prepare a report to support an application for allocation as part of the Local Development Framework process.

Please contact the undersigned if you have any queries with regard to this application.

#### **Section B – Budget Estimate Requirements**

The project is at the pre-planning stage and we require only outline budget estimates at this stage.

Outline budget estimates / information is required for the following items:-

- Confirmation of any available spare capacity with the existing network that could be used for the initial development without the need for upgrading the network.
- Any off site network upgrading required to supply the estimated demands (see later for demand requirements and anticipated phasing)
- Provision of on site network infrastructure. Given the scale of the development we envisage that this would consist of a HV network with sub-stations.
- Any significant diversion works required. Given the scale and level of detail available we envisage that only major diversion works would be identified at this stage. However, should minor over head distribution lines exist within the proposed development plots we would anticipate that these are incorporated into the development of the civils works.

The proposal is to provide a “serviced development plot”, i.e., providing electricity supply infrastructure to the boundary of the site. Outline budget estimates are required to assess the implications for providing electricity to the proposed development.

The estimated electricity demands are based on average figures for the anticipated phasing. Phasing of specific development plots has not been identified at this stage. There are proposals to provide new highways into the area; again the phasing of these has not yet been determined.

### **Section C – Site Details**

The proposed development consists of 85 residential units and a doctors surgery with an approximate 4840sq.ft floor area.

At this stage it is anticipated that the development will be built out over several years commencing in 2013 although this is subject to market conditions (refer to enclosed schedule). Enclosed is a copy of the site area and proposed development plots.

#### **Domestic**

Currently there is no proposed mix of residential dwellings. For the purpose of this assessment the following mix has been assumed:

|               |          |
|---------------|----------|
| Detached      | 20 units |
| Semi-detached | 42 units |
| Terraced      | 23 units |

Affecting loads are not envisaged as part of the development.

#### **Commercial**

A doctors surgery (c.4840sq.ft) is proposed for the development. No disturbing loads are envisaged for this development.

### **Section D – Distributed Generation and Harmonics**

Renewable energy provision may be incorporated into the final scheme, which could be on a building by building basis. However, at this stage we have assumed that large scale electricity generation for feeding back into the grid will not apply.

We will re-consult with you in due course, as more detail becomes available and the masterplan is finalised, to obtain more detailed proposal and quotations.

**Section E – Additional Information**

Phasing of the development will be driven by market conditions and the enclosed schedules provide the anticipated build out at this stage.

Given the scale, complexity and timescales for the proposed development we would be pleased to meet with you to discuss the project in more detail.

Please contact the undersigned if you require any further details.

Yours faithfully

A handwritten signature in blue ink, consisting of several overlapping loops and curves.

**Paul Laidler**  
**Principal Engineer**  
DDI: 0113 395 6302

Encs Site Plan the development area  
Completed "Application for the Provision of a Budget Estimate" form



### Section A - Your Details

#### Address for Correspondence

#### Site Address

|   |  |
|---|--|
| Title, initials and surname<br><b>MR P.J. LAIDLER</b>         | Customer name<br><b>W.E. JAMESON &amp; SON</b> |
| Company name<br><b>WSP DEVELOPMENT &amp; TRANSPORTATION</b>   | Site name / plot numbers                       |
| Building name / number<br><b>THREE WHITE ROSE OFFICE PARK</b> | Street<br><b>WESTHOLME ROAD</b>                |
| Street<br><b>MILLSHAW PARK LANE</b>                           | Town<br><b>MASHAM</b>                          |
| Town<br><del>LEEDS</del>                                      | City   |
| City<br><b>LEEDS</b>  | Postcode<br><b>HG4 4EX (APPROX. POST CODE)</b> |
| Postcode<br><b>LS11 0DL</b>                                   |  |

#### Contact Details

|                                   |  |
|-----------------------------------|--|
| Name<br><b>MR. PAUL LAIDLER</b>   | Fax  |
| Telephone<br><b>0113 395 6302</b> | Email<br><b>paul.laidler@wspgroup.com</b>  |
| Mobile<br><b>—</b>                | Preferred method of contact: Delete appropriately<br><del>Telephone</del> - <u>Email</u> - <del>Letter</del> |

### Section B - Budget Estimate Requirements

Connection requirements:      New       Increased load

Approximate date connection/s required: 2013

Have you previously received a budget estimate?      Yes       No  \_\_\_\_\_  
If yes, state your Enquiry number

ECGS1- A budget estimate is defined as a statement in writing, which may be provided without carrying out a site visit or a system studies, of the amount that we reasonably estimate we would require you to pay in respect of the relevant proposed connection if you were to require us to offer terms for making such a connection under section 16A(1) of the Electricity Act 1989 ("the Act"). For requests < 1MVA we will deliver your budget estimate in 10 working days and for requests of 1 MVA and above in 20 working days. If we take longer, we will automatically arrange to pay you £50.

### Section C - Site Details

Total number of electricity plots 85 Residential + 4840 sqft Surgery

Type of supply: Commercial  Industrial  Domestic

#### Load guidelines

A single, non-electrically heated domestic property with less than five bedrooms and no disturbing loads will be provided with a single phase supply, capable of providing up to 20kVA. This will be adequate for household appliances which use sockets and all normal lighting.

An 80amp 1 phase supply can provide up to 20kVA.

A 100amp 3 phase supply can provide up to 60kVA

Any load above these will require CT metering.

Do you require a single phase or 3 phase supply? Single phase  3-phase

Maximum power required in kVA (after diversity) 270 ~~200~~ kVA  
(your electrician / electrical contractor can provide you with this information)

If the enquiry is for an increase in load, please state the existing load in kVA: \_\_\_\_\_

### Domestic

#### Heating type

Please choose your heating type: Electricity  Gas  Other

If other, please specify \_\_\_\_\_

#### Property type

| Type of property | 1 bed                    | 2 bed                    | 3 bed                               | 4 bed                               | 5 bed                    | Off peak electricity heating/ kW | Daytime electricity heating/ kw e.g Panel heaters | Dedicated electric water heating/ kW e.g Storage heaters | Electric Boilers (kw) . |
|------------------|--------------------------|--------------------------|-------------------------------------|-------------------------------------|--------------------------|----------------------------------|---|--|-------------------------|
| Detached         | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/> | _____                            | _____   | _____  | _____                   |
| Semi- detached   | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> | _____                            | _____   | _____  | _____                   |
| Terrace          | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> | _____                            | _____   | _____  | _____                   |
| Flat/ Maisonette | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> | _____                            | _____   | _____  | _____                   |
| Bungalow         | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> | _____                            | _____   | _____  | _____                   |
| Other            | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> | _____                            | _____   | _____  | _____                   |

Will any landlords' supplies be required? Yes  No

If yes please specify the following:

Number of landlords' supplies \_\_\_\_\_ 1 phase or 3 phase \_\_\_\_\_ Load kVA \_\_\_\_\_

Do the flats / Maisonettes have a separate or communal entrance? Separate  Communal

(Please note, meters for flats without their own separate entrance MUST go in a communal position)

**Affecting loads**

*REFER TO COVERING LETTER*

If the supply will power any motor(s), please give details of the motors load(s)

| Type                         | 1/3 or split phase | Rating KW/h | DOL/Star/Soft Start | Starting current | Starts per hour |
|------------------------------|--------------------|-------------|---------------------|------------------|-----------------|
| Lift                         | <i>N/A</i>         |             |                     |                  |                 |
| Pump                         |                    |             |                     |                  |                 |
| Other (please specify) _____ |                    |             |                     |                  |                 |

Total number of Air Source Heat Pumps \_\_\_\_\_ Total number of Ground Source Heat Pumps \_\_\_\_\_

**Commercial / Industrial**

Details of units

*N/A.*

| Type of unit | Number of Units | Load required (kVA) | Total load (kVA) |
|--------------|-----------------|---------------------|------------------|
|              |                 |                     |                  |
|              |                 |                     |                  |
|              |                 |                     |                  |
|              |                 |                     |                  |
|              |                 |                     |                  |

**Disturbing loads**

Most enquiries are 'non-disturbing'. If the enquiry is for a building that contains a high number of motors or large motors for lifts, air conditioning plant, industrial machinery etc and electrical welding equipment, the load may be 'disturbing' and further information should be detailed below.

Load requirements: Non-disturbing  Disturbing

Previous practice has shown that certain relatively small motors can be connected without consideration of flicker effects on the network. Please provide details of the two largest motors to be connected, particularly Star Delta start motors and direct on line (DOL) motors. If this information is unknown, please refer to the manufacturer or the equipment installer. If available, please provide copies of the data sheets for any motor that will be installed.

Total number of motors \_\_\_\_\_ Total number of welders \_\_\_\_\_

**Details of largest motors**

*N/A*

| Type | Voltage | 1 or 3 or split Phase | rating KW/hp | DOL/ Star Delta | Starting Current | Starts per hour |
|------|---------|-----------------------|--------------|-----------------|------------------|-----------------|
|      |         |                       |              |                 |                  |                 |
|      |         |                       |              |                 |                  |                 |

**Details of largest welders**

*N/A*

| Input Voltage | Rating | Phases | Welds per Minute |
|---------------|--------|--------|------------------|
|               |        |        |                  |
|               |        |        |                  |

**Section D—Distributed Generation and Harmonics**

REFER TO COVERING LETTER.

Will there be any on-site distributed generation? Yes  No

If yes, is it standby generation only? Yes  No

Is the generation <16 amps per phase? Yes  No

Please note, if it is not standby only generation, you will be required to complete an application for embedded generation which can be obtained by calling us on 08450702703 and on our website at <http://www.ce-electricuk.com/page/Generation.cfm>. Please return both completed application forms together so they can be dealt with at the same time.

**Section E - Additional Information** (brief description of requirements)

PHASING OF THE DEVELOPMENT WILL BE SUBJECT TO MARKED CONDITIONS WITH SALES BEGINNING IN 2013 (ANTICIPATED)

AT THIS STAGE WE REQUIRE OUTLINE BUDGET ESTIMATES OF THE COSTS REQUIRED TO PROVIDE SUPPLIES TO THE PROPOSED DEVELOPMENT.

THE DEVELOPMENT MASTERPLAN FOR THE SITE IS NOT SUFFICIENTLY DEVELOPED TO PROVIDE A SITE LAYOUT OR METERING POSITIONS.

**Section F - Information Request and Checklist**

Important. Before you submit your application, please ensure you have provided the following minimum information (we will not be able to process your application if you fail to provide this information):

- |   |                                     |   |                                     |
|---|-------------------------------------|---|-------------------------------------|
| A site layout plan with site boundary (preferably 1:500 scale)<br><i>N.B. An example of a site location plan is included at the back of this form.</i>  | <input checked="" type="checkbox"/> | Customer details including method of contact      | <input checked="" type="checkbox"/> |
| A site layout plan and meter positions<br><i>N.B. An example of the site layout plan is included in the back of this form.</i>  | <input type="checkbox"/>            | Site details                                      | <input checked="" type="checkbox"/> |
| Generation Application Form if applicable<br><i>An application for embedded generation can be obtained by calling 08450702703 and on our website at <a href="http://www.ce-electricuk.com/page/Generation.cfm">http://www.ce-electricuk.com/page/Generation.cfm</a></i> | <input type="checkbox"/>            | Approximate date for connection/s                 | <input checked="" type="checkbox"/> |
|   |                                     | Total maximum power                               | <input checked="" type="checkbox"/> |
|   |                                     | Summary technical details of any generation       | <input type="checkbox"/>            |
|   |                                     | Summary technical details of any disturbing loads | <input type="checkbox"/>            |

**Section G - Signature**

Signature of applicant



Date

20<sup>th</sup> JANUARY 2011

Print name

MR. P. J. L. ALOVER

Position in company

PRINCIPAL ENGINEER

If you are acting as an agent for the customer, please tick this box to indicate that you have the appropriate authority.

**Data Protection**

The information you provide will be used to process your application. We may also pass your details to a market research company who conduct customer satisfaction surveys on our behalf. If you do not wish to be included in our customer satisfaction surveys please tick



KEY



TITLE

WESTHOLME ROAD, MASHAM

FIGURE No:

SITE BOUNDARY

0 0.01 km  
Google

## Laidler, Paul

---

**From:** no-reply@linesearch.org  
**Sent:** 24 January 2011 13:18  
**To:** Laidler, Paul  
**Subject:** LINESEARCH enquiry confirmation: LS-110124-KH-117-BVN

Enquiry received at: 13:18 on 24/01/2011

Please DO NOT respond directly to this email. If you have any queries please contact Linesearch on 0870 403 6484, quoting your Linesearch reference number.

Dear Mr Paul Laidler

Thank you for your enquiry: LS-110124-KH-117-BVN

Subject always to our standard terms and conditions, this enquiry result is valid for 28 days only from the date of enquiry and is based on the confirmed information you entered. If the location of the work changes then a further enquiry must be made. Should the work not be undertaken within 28 days of the enquiry then a further enquiry must be made.

### Enquirer details

Name: Mr Paul Laidler  
Company: WSP Development and Transportation  
Email: [paul.laidler@wspgroup.com](mailto:paul.laidler@wspgroup.com)  
Tel: 0113 395 6302

### Enquiry details

Your reference: 71019  
Your location: hg4 4ex  
Confirmed location: OS grid reference (422185 480793) Estimated start date: 01-01-2013 Type of work: Development  
Projects - Housing Area covered: Distance covered: 1000 metres Planned works: No  
Emergency: No

### Not in the Zone of Interest

BOC Limited (A Member of the Linde Group)  
BP Exploration Purbeck Southampton Pipeline  
BPA  
Centrica Energy  
ConocoPhillips (UK) Ltd  
ConocoPhillips Ltd Humber Refinery  
Coryton Energy Co Ltd (Gas Pipeline)  
E-on UK Plc (Gas Pipelines Only)  
Esso Petroleum Company Limited  
FibreSpeed Limited  
Geo Networks Limited  
Government Pipelines & Storage System  
INEOS Manufacturing (Scotland and TSEP)  
Ineos Enterprises Limited  
Mainline Pipelines Limited  
Manchester Jetline Limited

Marchwood Power Ltd (Gas Pipeline)  
NPower CHP Pipelines  
National Grid Gas and Electricity Transmission  
Oikos Storage Limited  
Premier Transmission Ltd (SNIP)  
SABIC UK Petrochemicals  
Scottish Power Generation  
Shell UK Ltd  
Star Energy  
Total UK (Finaline, Colnbrook & Colwick Pipelines)  
Wingas Storage UK Ltd

Thank you for your enquiry, there is no further action necessary.

Please note that Linesearch.org system only contains information on National Grid's Transmission assets. All other National Grid or other local high pressure (above 7 bar) gas pipelines and lower pressure gas mains are not included. For all other energy network operators' information and contact details see <http://2010.energynetworks.org/>

Please quote the Linesearch enquiry reference number in \*all\* correspondence

To view your enquiry history, just log in to <http://www.linesearch.org>



Name: Louise McCabe

Tel: 0845 0702703

Your Ref:

Our Ref: ENQ5134915

Date: 24 January 2011

Mr Paul Laidler  
W S P  
Three White Rose Office Park, Millshaw Park Lane, Leeds, Ls11 0dl, United Kingdom  
LS11 0DL

Dear Mr Paul Laidler

**Electricity Service to Proposed Development At, Westholm Road, Masham**

**Thank you for your enquiry asking for a new supplies at the above address.**

**To enable us to process your enquiry we require further information.**

- Can you confirm the load in kva per plot and the load required in kva for the surgery?
- On the enclosed site location plan can you please clearly highlight your full site boundary

**It is important that you complete the attached form and return it to me along with a site location plan, as quickly as possible using the enclosed pre-paid envelope.**

**Without this information we cannot proceed with your enquiry.**

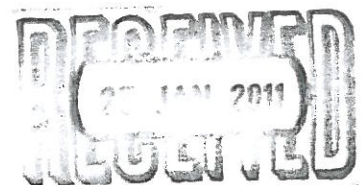
May I also take this opportunity to inform you that if a new connection is required then you must appoint an energy supplier, failure to do so could cause delay in the connection being made.

We will use the information you have provided for the purpose of administering your quotation, providing you with the service covered by the quotation and for research and statistical analysis.

If you have any questions, please ring me on the above number.

Yours sincerely

LOUISE MCCABE



NORTHERN ELECTRIC DISTRIBUTION LIMITED

Cargo Fleet Lane, Middlesbrough TS3 8DG.

Registered Office: Lloyds Court, 78 Grey Street, Newcastle **Supplier Information Required V1.0**  
Registered in England and Wales. Registered Number: 2906593.

If you would like an audio copy of this letter, a copy in large type, Braille or another language, please call 0800 652 6543.



# Pig Farm

0080  
1.905ha  
4.71

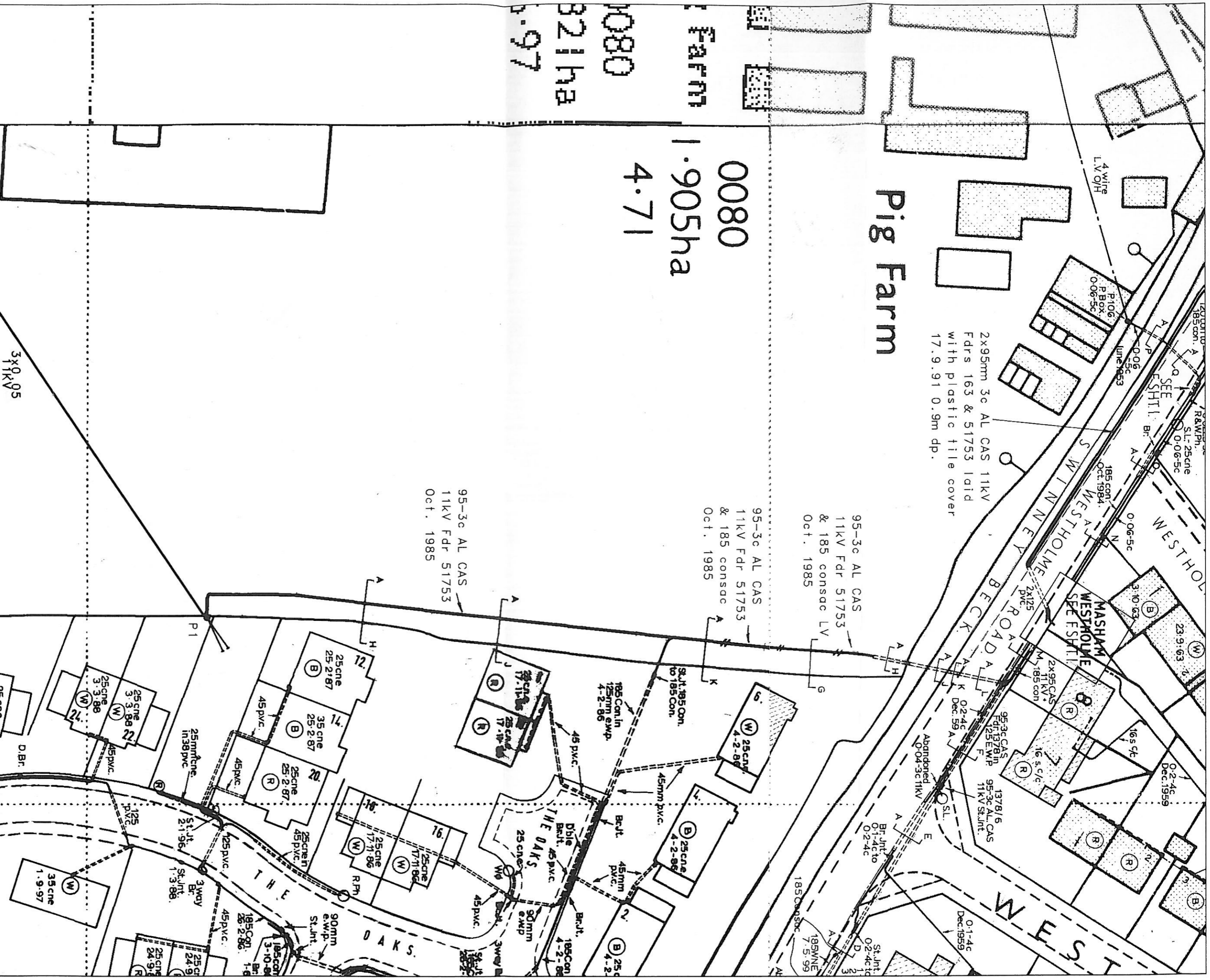
Farm  
0080  
1.905ha  
4.71

2x95mm 3c AL CAS 11kV  
Fdrs 163 & 51753 laid  
with plastic tile cover  
17.9.91 0.9m dp.

95-3c AL CAS  
11kV Fdr 51753  
& 185 consac LV  
Oct. 1985

95-3c AL CAS  
11kV Fdr 51753  
& 185 consac  
Oct. 1985

95-3c AL CAS  
11kV Fdr 51753  
Oct. 1985



3x0.95  
11kV

**NEDL**

NEDL Lloyds Ct, 78 Grey St, Newcastle-Upon-Tyne, NE1 6AF

Scale 1:500

|       |           |            |                    |           |           |
|-------|-----------|------------|--------------------|-----------|-----------|
| Drawn | 24/Jun/11 | Drng No.   |                    | Sheet No. | of        |
| Date  |           | Originator | NEDL No.           | O.S. Ref. | SE2220808 |
| Mods  |           | File Ref.  | /vor/tmp/aaaajaoUo |           |           |

MASHAM  
SOUTH  
SW

2

Name: Joseph King

Tel: 0845 0702703

Your Ref:

Our Ref: ENQ5134915

Date: 02 February 2011

Mr Paul Laidler  
W S P  
Three White Rose Office Park  
Millshaw Park Lane  
Leeds  
United Kingdom  
LS11 0DL

Dear Mr Paul Laidler

## **Electricity Service to Proposed Development At, Westholm Road, Masham**

Thank you for your recent application regarding the above.

From our initial assessment and in accordance with the Electricity Connections Guaranteed standards, set by our Regulator (OFGEM), we have applied a service standard that gives a maximum timescale of 10 working days for a quotation to be issued to you.

However, this service standard may be subject to change following further technical assessment. In some instances it may take longer to provide you with a quotation if during our assessment we become aware that we require additional information from you. If we require any additional information we will request this from you and pause our work until we receive the required information back from you.

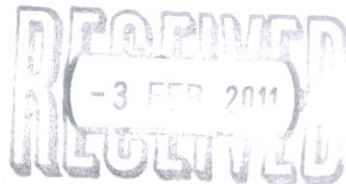
If you need to contact us regarding this application please quote ENQ5134915.

Our aim is to give the best possible service and I hope the information provided meets your requirements. If you have any questions regarding the information contained in this letter, please contact me on the above number.

We will use the information you have provided for the purpose of administering your quotation, providing you with the service covered by the quotation and for research and statistical analysis.

Yours sincerely

JOSEPH KING



NORTHERN ELECTRIC DISTRIBUTION LIMITED

Cargo Fleet Lane, Middlesbrough TS3 8DG.

Registered Office: Lloyds Court, 78 Grey Street, Newcastle upon Tyne NE1 6GF. **Inform Customer Of Job no. V2.5**  
Registered in England and Wales. Registered Number: 2906593.

If you would like an audio copy of this letter, a copy in large type, Braille or another language, please call 0800 652 6543.

Name: M S Cathie

Tel: 01904 476502

Email: malcolm.cathie@ce-electricuk.com

Your Ref: 71019-Preplanning Enquiry

Our Ref: ENQ5134915, QUO5131797

Date: 14 February 2011

Mr P Laidler  
W S P Development & Transportation  
Three White Rose Office Park  
Millshaw Park Lane  
Leeds  
LS11 0DL

Dear Mr Laidler

**Budget estimate for electricity connection at Masham, Westholme Road,  
Proposed Residential Development**

**Enquiry No: ENQ5134915, QUO5131797**

Thank you for your enquiry about this site. As you requested, I am pleased to provide you with a budget estimate for the work we believe we will need to carry out to provide an electricity connection to this development.

We calculate our budget estimates by making assumptions about the work we will need to do based on similar work we have carried out in the past. We have not visited the site, analysed the electricity network in the area or carried out any technical studies. Therefore, the budget estimate we have given may differ from the amount in any later quotation.

I hope that this budget estimate is helpful to you. You should read it alongside the attached information which outlines any assumptions we have made and any aspects of the work that are likely to significantly change the charges.

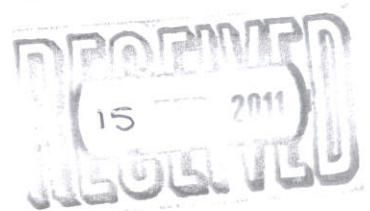
We have used the information you have provided to process your application. We may also pass your details to a market research company who conduct customer satisfaction surveys on our behalf.

We aim to give the best possible service and I hope this information meets your needs. If you have any questions about the information in this letter, please contact me on the above number.

Yours sincerely



**M S Cathie**



NORTHERN ELECTRIC DISTRIBUTION LIMITED

Cargo Fleet Lane, Middlesbrough TS3 8DG.

Registered Office: Lloyds Court, 78 Grey Street, Newcastle upon Tyne, NE1 6AF  
Registered in England and Wales. Registered Number: 2906593.

Budget Estimate V2.0

If you would like an audio copy of this letter, a copy in large type, Braille or another language, please call 0800 652 6543.

## **Budget estimate for a new electrical connection to the distribution system of NEDL**

### **Your request**

I understand that the development will consist of 85 non-electrically heated dwellings and a doctor's surgery and that an overall site capacity of 270kVA is required.

### **Providing the connection**

To provide this connection, our initial investigations have shown that we will need to:

- Divert NEDL's existing HV and LV overhead and underground assets crossing the site. Extend our existing low voltage underground distribution system with low voltage underground cables around the site and breach off these cables with a direct service to each property terminating in each case in a mutually acceptable service position.
- It should be noted that site works will be severely restricted until the diversion works have been completed.

When calculating the budget estimate, we have assumed that:-

- we will not need to reinforce the local electricity network or carry out associated works that may be required to provide you with the load you have requested
- sufficient spare capacity exists within the local network
- if required, any substation will be sited next to the public highway with 24 hour, 365 days a year unrestricted vehicular access
- you will carry out all civil works on your site, including the construction of suitable substation accommodation if required, built to our specification
- you grant us a lease, at no cost, for the substation accommodation if required
- we can obtain wayleaves and any other statutory consents for the cable route. If we need to obtain any wayleaves or consents from any third parties, there will be no charge or conditions imposed upon us
- you will carry out all excavations on site
- we can provide the connection along the most direct and economical route and there are no abnormal ground conditions along that route
- the work will be carried out during normal working hours of 9am to 5pm between Monday and Friday
- there are no disturbing loads, e.g. motors, welders
- your proposals will not affect any street furniture, e.g. street columns, bollards, traffic lights
- any generation that you install complies with the associated Engineering Recommendations
- Ideally NEDL should only be providing costs for works that will be completed on site by the developer within a 12 month period from acceptance of the detailed scheme. Additional costs will be incurred by the developer if our works extend beyond this period.

## The connection budget estimate

Based on the above criteria and assumptions, we estimate that the cost of providing a connection to this site will be in the region of £275,000.00 plus VAT @ the appropriate rate.

## If you would like a quotation

This letter is not an offer to provide a connection and the above budget estimate is for guidance only. It is not a quotation and you cannot accept it and instruct us to start work.

If you wish to proceed with the provision of this connection and require a quotation, please write to:

Network Connections  
PO Box 329  
Middlesbrough  
TS3 8DG

Please send us a completed application form, ensuring you provide the following minimum information. You can find all our application forms on the CE Electric UK website [www.ce-electricuk.com](http://www.ce-electricuk.com).

- Customer name and address (correspondence address), other contact details and preferred method of contact
- Site address
- Site plan at an appropriate scale to indicate the site boundary, the layout of buildings and roads and where the customer expects a substation(s) to be required, the proposed location of the substation(s). The plan should be free of unnecessary detail and be suitable for use as a background layer for the Distributor proposal drawing.
- Proposed location of each metering point
- Letter of authority where the applicant is acting as an agent of the customer
- Date when the customer requires the connection(s) to be made
- Maximum capacity (kVA) at each metering point to be connected (for domestic premises the Distributor may require a description of the premises and whether electric space and water heating is to be installed)
- Technical details of any electricity generator that is required to operate in parallel with the supply
- Technical details of any customer owned equipment that is likely to cause disturbance to the electricity supply (i.e. large motors, welders etc.)

We will then send you a quotation detailing our charges and terms of contract.

### **Timescale if you accept a quotation**

If you accept a quotation from us, we may need up to 6 Months to provide the connection particularly if difficulties are encountered in obtaining the necessary consents, wayleaves, materials, etc.

### **Competition in connection**

Under competition regulations, other companies may be able to carry out some aspects of this work. If you choose to use another company, you must ensure that they are accredited by 'Lloyds Register' to undertake the work.

### **NEDL/YEDL records**

If you need copies of NEDL/YEDL mains records you can get these by contacting us using the following contact details:-

NEDL/YEDL  
Records Information Centre  
New York Road  
Shiremoor  
Newcastle upon Tyne  
NE27 0LP

Tel. 0191 2294273



If telephoning or calling please ask for:

Mr.I.Foster  
0870 1600910

Our Ref: 11/291370

Your Ref: Email

Date: 14 February 2011

Craig Cockerham  
Centara Ltd  
Office 1 Normanton Business Park  
Ripley Drive  
Normanton  
WF6 1QT

Dear Sir/Madam

REQUEST FOR RECORDS SHOWING LOCATION OF APPARATUS at:

Westholme Road Masham

Thank you for your enquiry dated 14/02/2011 concerning the above. The enclosed Mains Records only give the approximate location of known Northern Electric apparatus in the area. Great care is therefore needed and all cables and overhead lines must be assumed to be live.

Please note that while all efforts are made to ensure the accuracy of the data, no guarantee can be given. We would refer you to the Health & Safety Executive's publication HS(G)47 "Avoiding Danger From Underground Services" which emphasises that:

\* Plans must only be used as a guide in the location of underground cables. The use of a suitable cable-tracing device is essential and careful hand digging of trial holes must be carried out to positively identify and mark the exact route of the cable. You should also bear in mind that a cable is unmistakably located only when it has been safely exposed.

\* Cable depths are not generally indicated on our records and can vary considerably even when shown.

\* Great caution must be exercised at all times when using mechanical plant. Careful trial digging should always be carried out on the whole route of the planned excavation to ascertain no cables exist.

The Health & Safety Executive have another publication, GS6 "Avoidance of Danger from Overhead Electric Lines" that you should be aware of if your work is near overhead power lines. Both of these documents provide comprehensive guidance for observance of statutory duties under the Electricity at Work Regulations 1989 and the Health & Safety at Work Act 1974. Our provision of these records is based upon the assumption that people using them will have sufficient competence to interpret the information given. Any damage or injury caused will be the responsibility of the organisation concerned who will be charged for any repairs.

Please note ground cover must not be altered either above our cables or below overhead lines, in addition no trees should be planted within 3 metres of existing underground cables or 10 metres of overhead lines. All our apparatus is legally covered by a wayleaves agreement, lease or deed or alternatively protected under the Electricity Act 1989. Should any alteration / diversion of our Company's apparatus be necessary to allow your work to be carried out, budget costs can be provided by writing to Network Connections, Northumbria Works, Mill Street East, Dewsbury. WF12 9AH.

Yours faithfully

I. Foster.

CE Electric UK Records Information Centre

Northern Electric Mains Records enclosed:

SE2280.TIF SE220804.TIF SE220804.001 SE220806.TIF SE220806.001 SE220808.TIF SE220808.001 SE2180.TIF SE218806.TIF  
SE218808.TIF SE218808.001

Records Information Centre, New York Road, Shiremoor, Newcastle upon Tyne NE27 0LP.  
**CE ELECTRIC UK FUNDING CO.**

Registered Office: Lloyds Court, 78 Grey Street, Newcastle upon Tyne NE1 6AF.  
Registered in England and Wales. Registered Number 03476201.

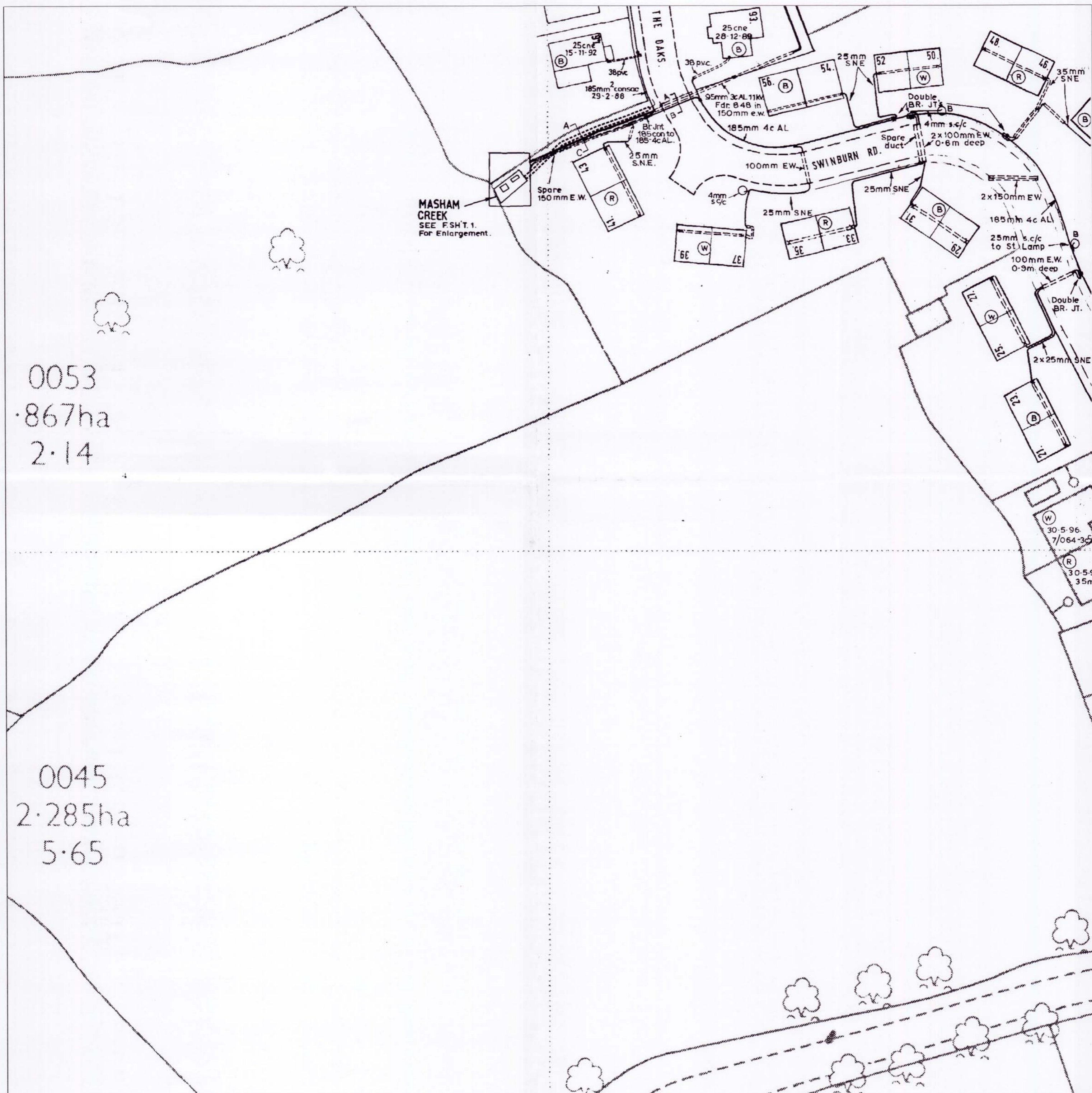


**NEDL** Scale: 1:2500  
 Map: SE2280.TIF  
 Date: 14 Feb 2011  
**Dig Safely** 1. Use Plans  
 2. Use Cable Locator  
 3. Hand Dig To Confirm

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 Lloyds Court, 78, Grey Street,  
 Newcastle Upon Tyne, NE1 6AF

ELECTRIC CABLES AND/OR OVERHEAD LINE INFORMATION SHOWN ON THE RECORD PLANS ARE TO BE USED IN ACCORDANCE WITH THE HEALTH & SAFETY EXECUTIVE'S BOOKLET HS(G)47, "AVOIDING DANGER FROM UNDERGROUND SERVICES", AND GUIDANCE NOTE GS 6, "AVOIDANCE OF DANGER FROM OVERHEAD ELECTRIC LINES". THE RECORD PLANS DO NOT ALWAYS SHOW OUT OF COMMISSION CABLES OR SERVICE CABLES FROM NEDL'S MAINS TO ADJOINING OR CROSS ROAD PROPERTIES. PLANS DO NOT SHOW LOCAL AUTHORITY OWNED PUBLIC LIGHTING OR SIGN CABLES. THE INFORMATION IS PROVIDED AS A SERVICE BY NEDL AND DOES NOT IMPART ANY LEGAL OBLIGATION ON THEIR PART. PERSONS USING IT ARE REMINDED OF THEIR RESPONSIBILITY TO EXECUTE WORKS SAFELY TO AVOID DAMAGING NEDL'S APPARATUS. FURTHER ADVICE OR ASSISTANCE IS AVAILABLE FROM THE RECORDS INFORMATION CENTRE ON 0870 1600910 IN AN EMERGENCY OR OUTSIDE NORMAL WORKING HOURS CONTACT OUR CUSTOMER INFORMATION CENTRE ON 0845 0702703 CABLE DEPTHS SHOWN WERE CORRECT AT THE TIME CABLES WERE LAID HOWEVER ALTERATIONS TO GROUND LEVELS OR CABLE DISPOSITION MAY HAVE TAKEN PLACE





0053  
867ha  
2.14

0045  
2.285ha  
5.65

**NEDL** Scale: 1:500  
Map: SE220804.TIF  
Date: 14 Feb 2011

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0080  
1.905ha  
4.71

95-3c AL CAS  
11kV Fdr 51753  
& 185 consac  
Oct. 1985

95-3c AL CAS  
11kV Fdr 51753  
Oct. 1985

3x0.05  
11kV

835051  
0.05  
11kV

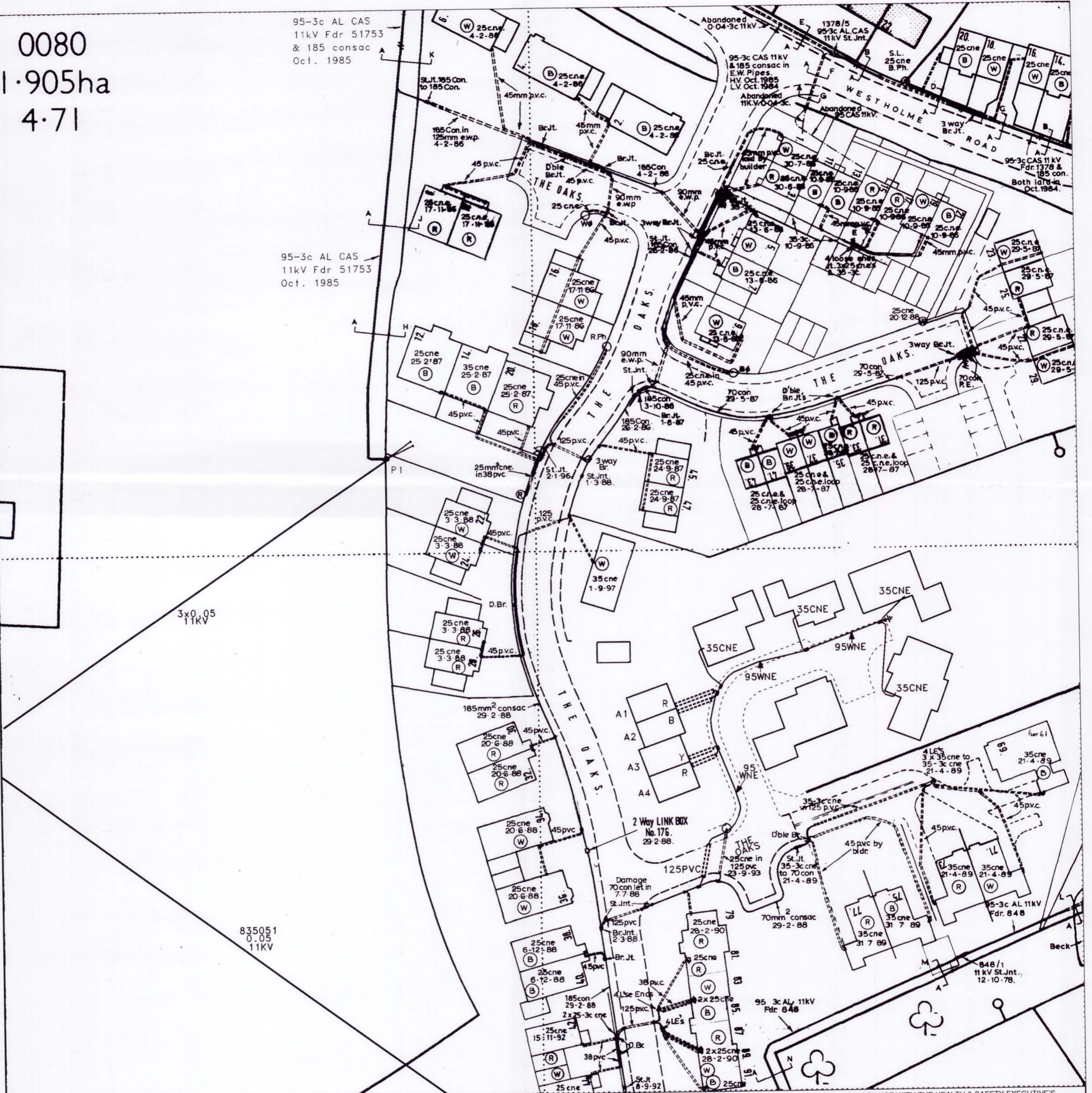
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Map: SE220806.TIF  
Date: 14 Feb 2011

**Dig Safely**

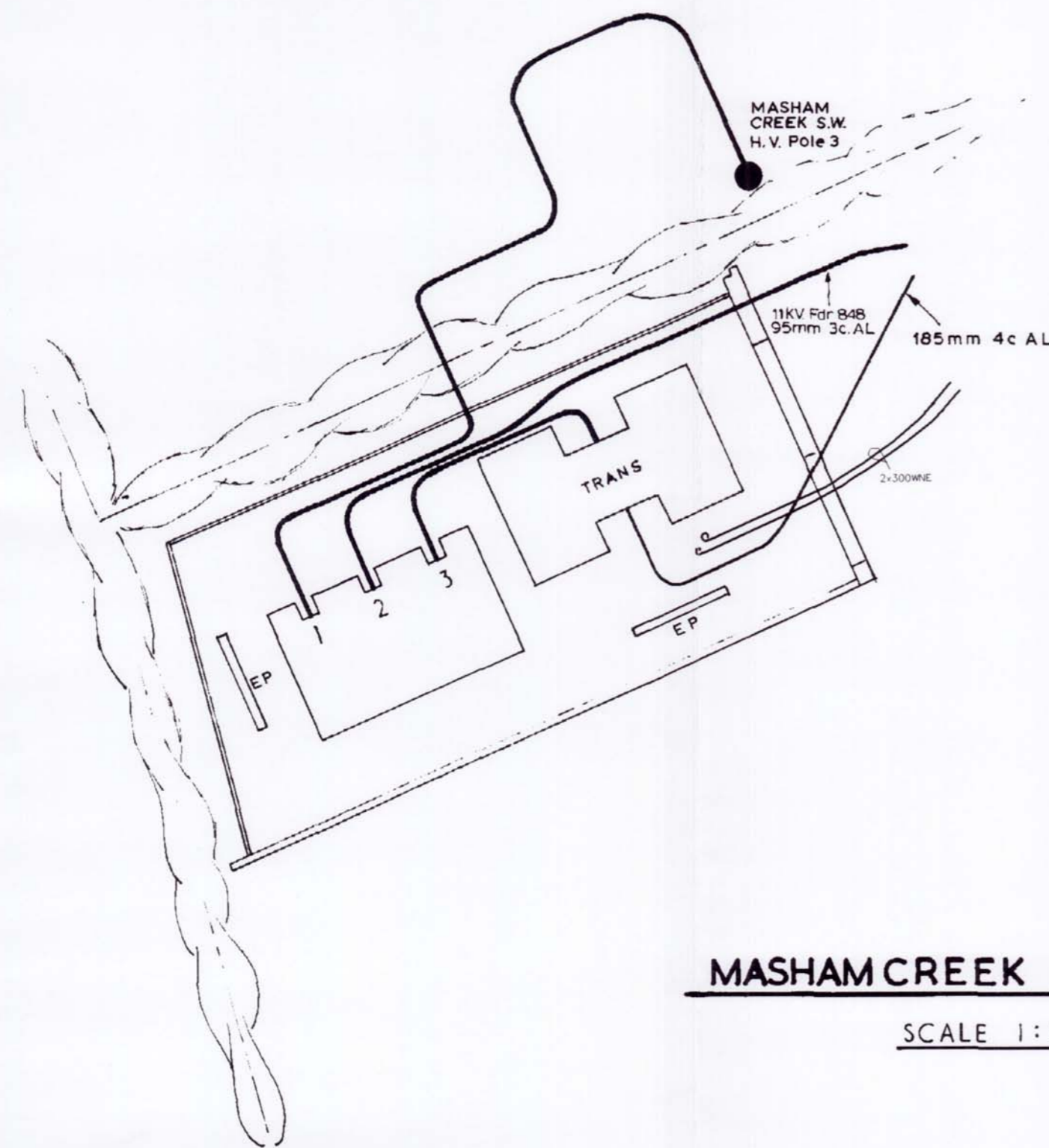
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REVISED  
12-5-80  
20-2-81  
27-7-84

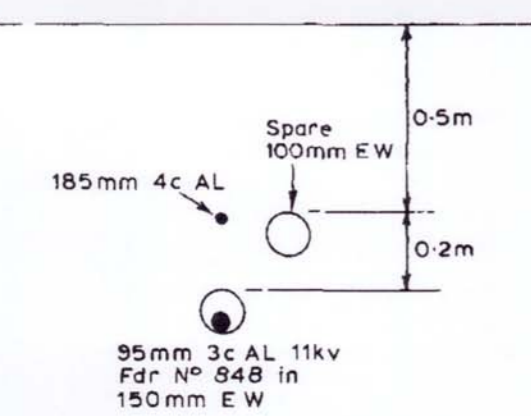


11KV END BOXES

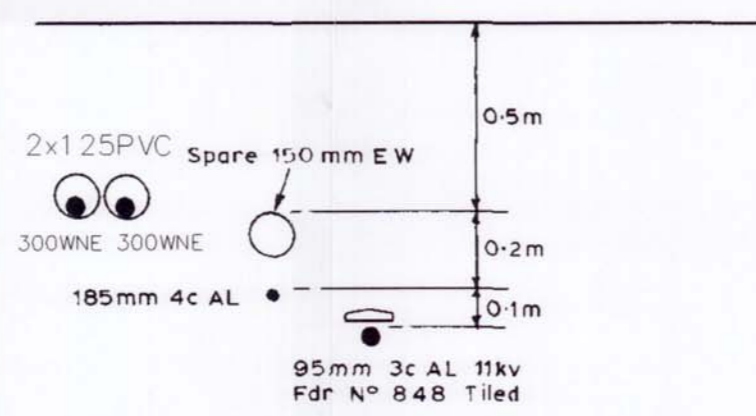
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|-----------------------|------------|---|---|---|---------|-----------|-------------|
| MASHAM CREEK SW       | 95mm 3c AL | 3 | 1 | 2 | 3-10-78 | D. NELSON | Fdr 1296 /3 |
| 1. H.V. POLE 3        | 95mm 3c AL | 1 | 2 | 3 | 4-10-78 | "         | Fdr 848     |
| 2. MASHAM CHAPMAN S/S | 95mm 3c AL | 1 | 2 | 3 | 4-10-78 | "         | Fdr 848     |
| 3. TRANSFORMER        | 95mm 3c AL | 3 | 2 | 1 | 27-7-78 | "         |             |

MASHAM CREEK S.S., MASHAM

SCALE 1:50



A — B  
SCALE 1:20

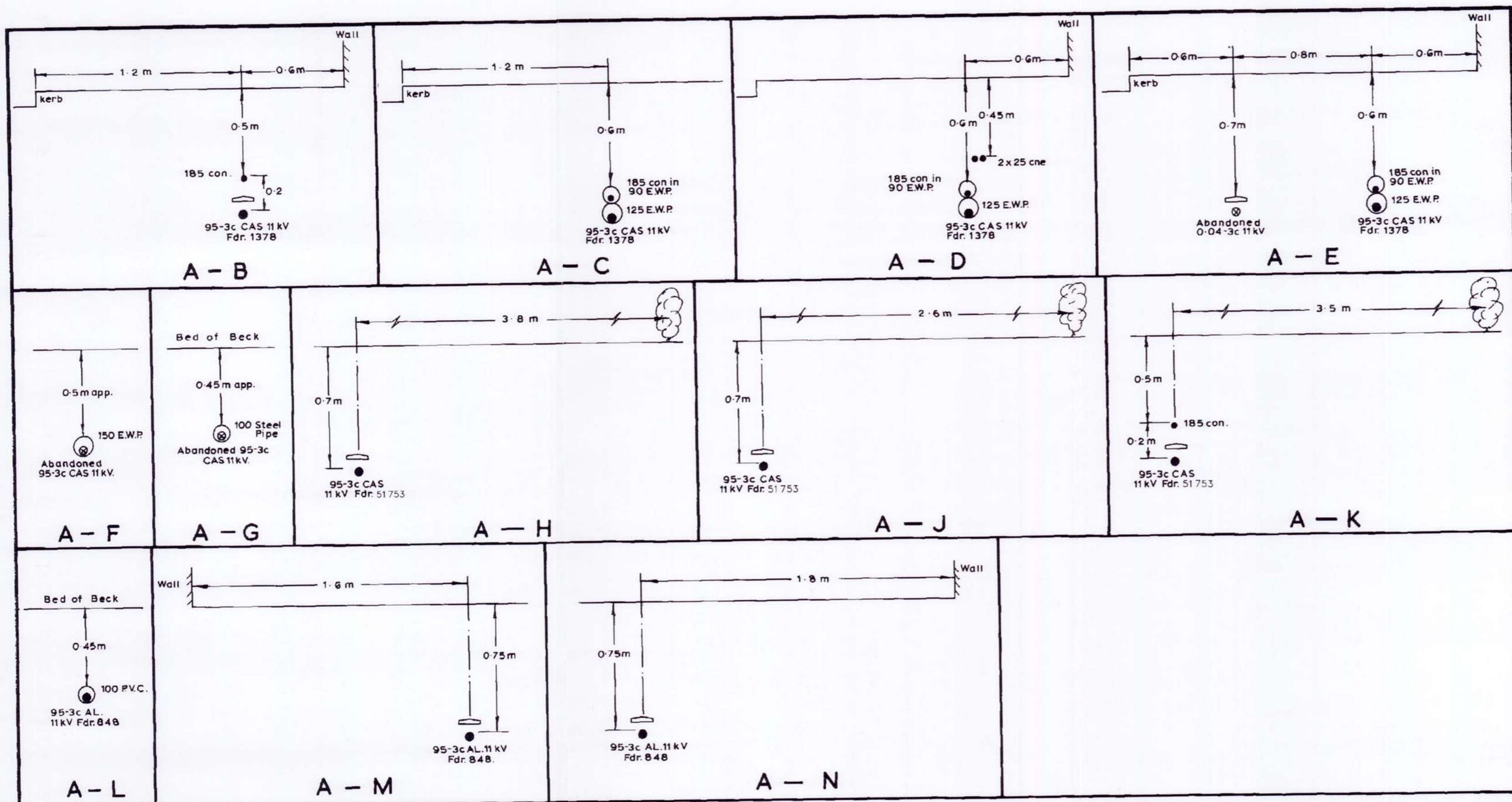


A — C  
SCALE 1:20

NORTH YORKS

FACING DETAIL SHEET 1. TO SE 220804

F.S.H.1. SE 220804



REVISED  
22.11.85

F.SHT. 1 TO SE220806

**NORTH YORKSHIRE DISTRICT. SCALE :1/20 MASHAM FACINC DETAIL SHEET NO : 1 SE 220806**

**NEDL** Scale: 1:500  
Map: SE220806.001  
Date: 14 Feb 2011

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3. Hand Dig To Confirm

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**NEDL** Scale: 1:500  
 Map: SE220808.TIF  
 Date: 14 Feb 2011

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 CABLE DEPTHS SHOWN WERE CORRECT AT THE TIME CABLES WERE LAID HOWEVER ALTERATIONS TO GROUND LEVELS OR CABLE DISPOSITION MAY HAVE TAKEN PLACE

**MASHAM WESTHOLME S.S.**

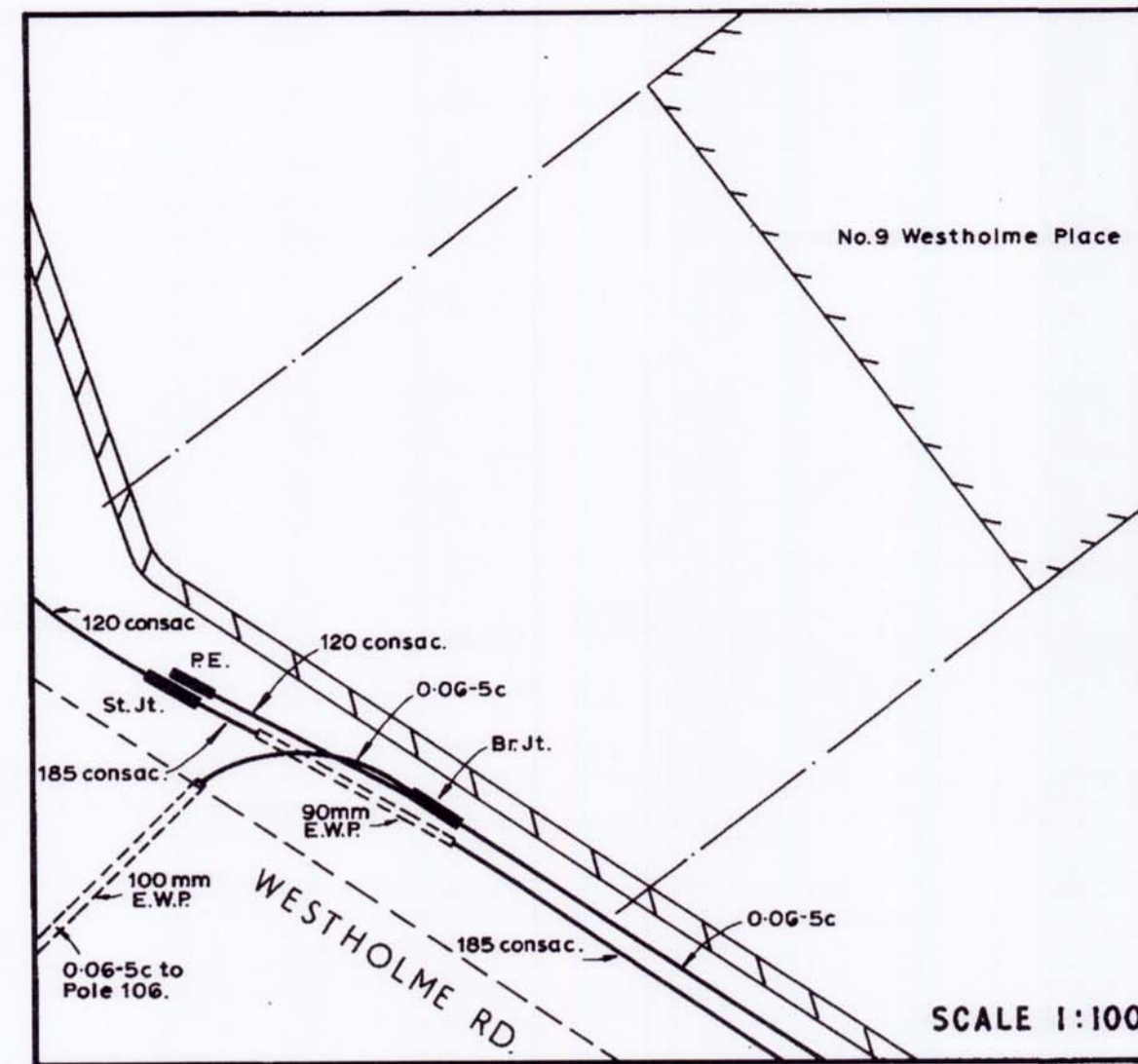
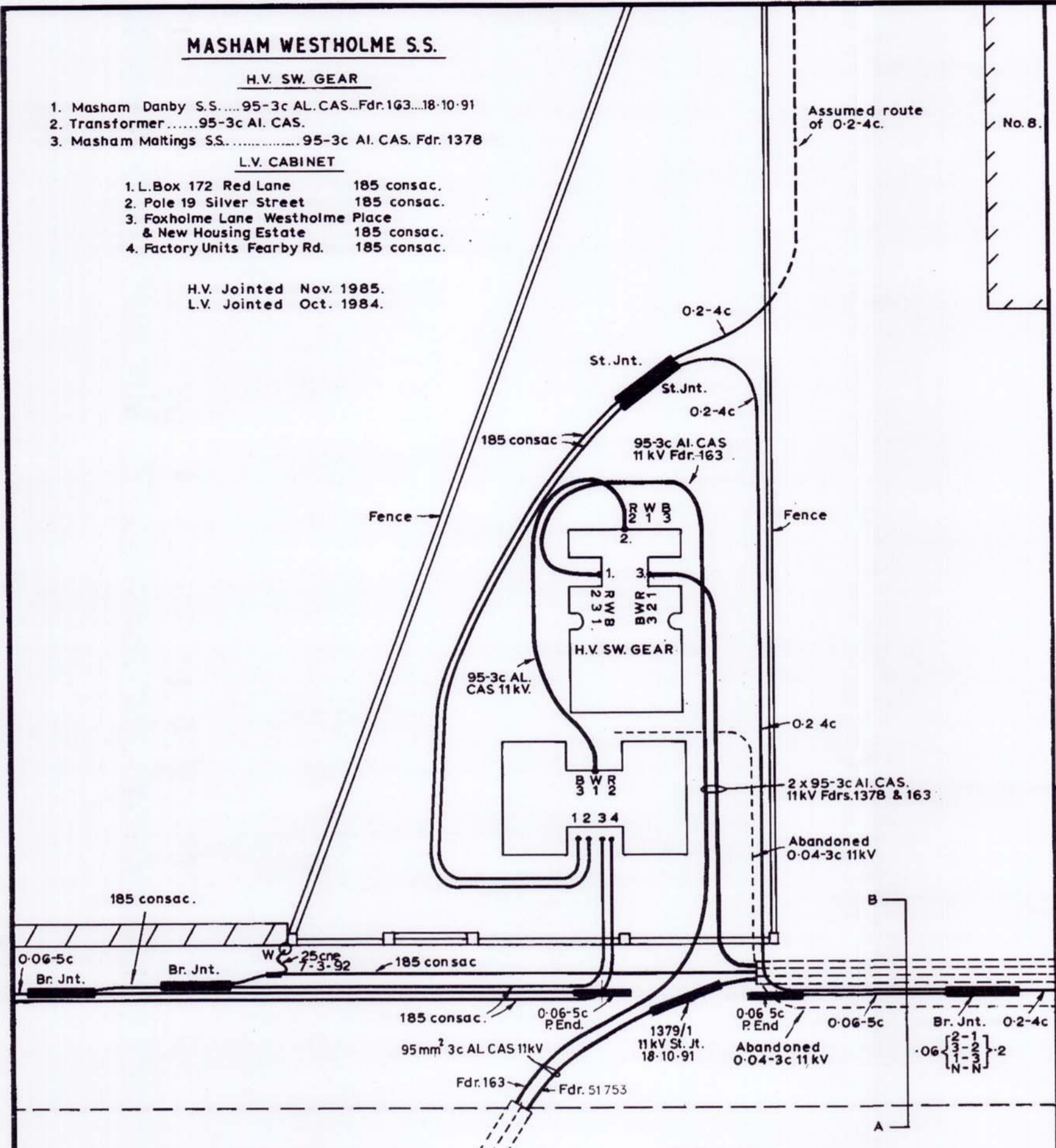
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2. Transformer 95-3c AL CAS.
3. Masham Matings S.S. 95-3c AL CAS. Fdr. 1378

**L.V. CABINET**

1. L.Box 172 Red Lane 185 consac.
2. Pole 19 Silver Street 185 consac.
3. Foxholme Lane Westholme Place & New Housing Estate 185 consac.
4. Factory Units Fearby Rd. 185 consac.

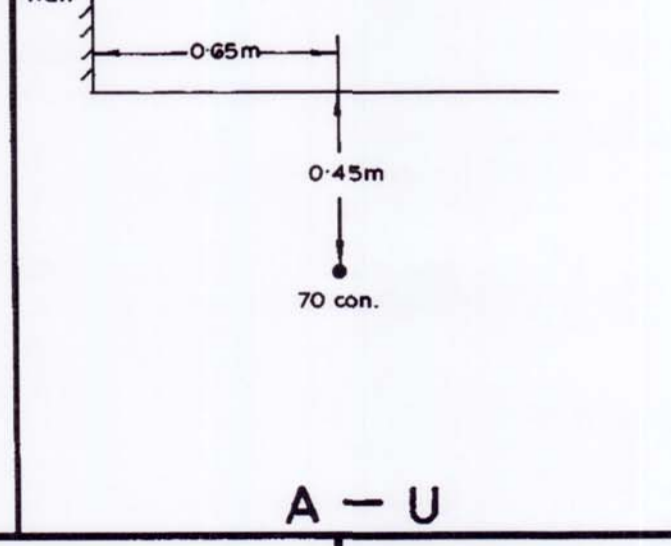
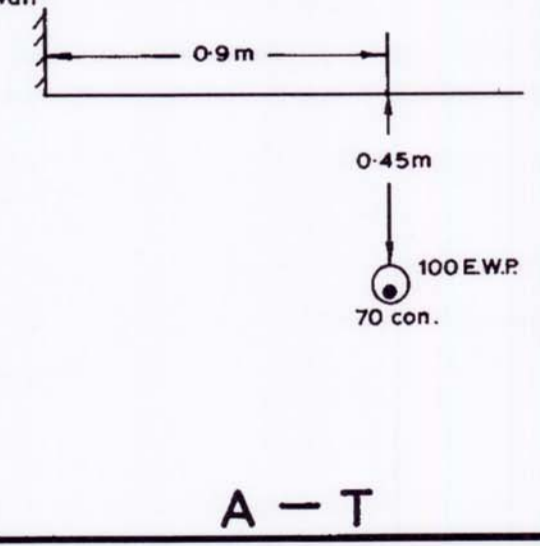
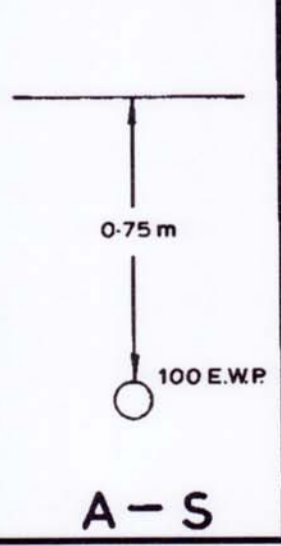
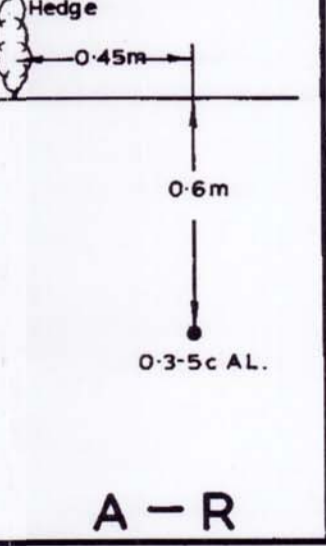
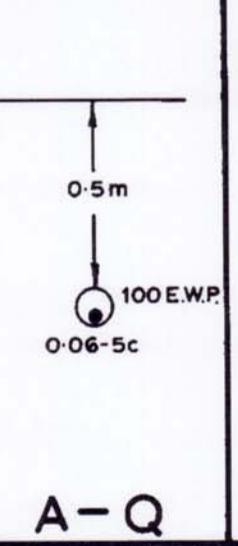
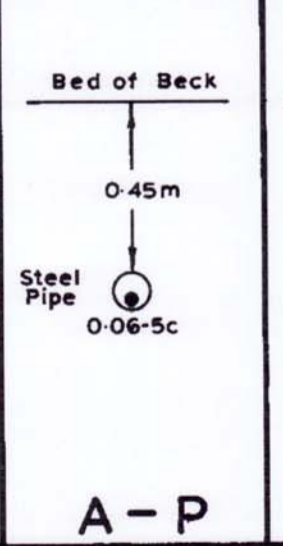
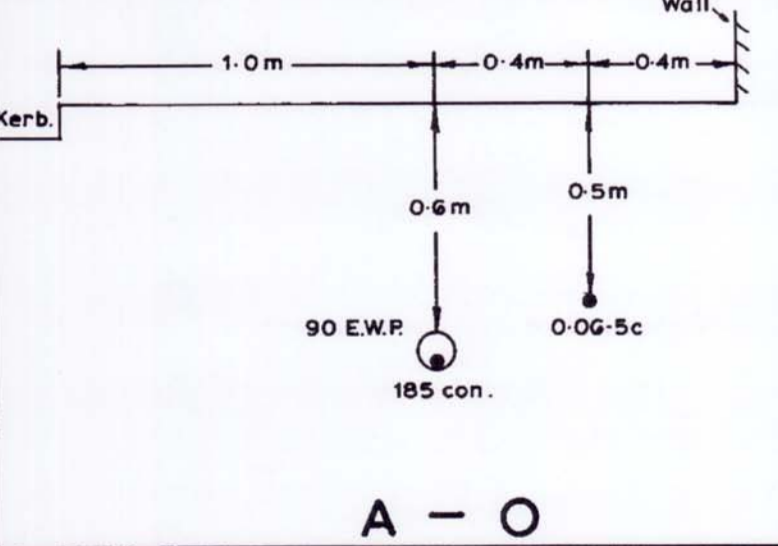
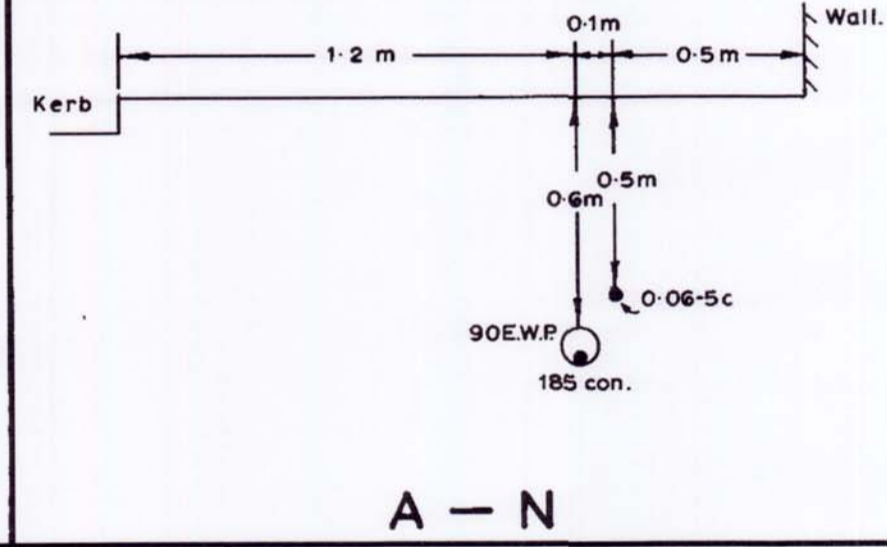
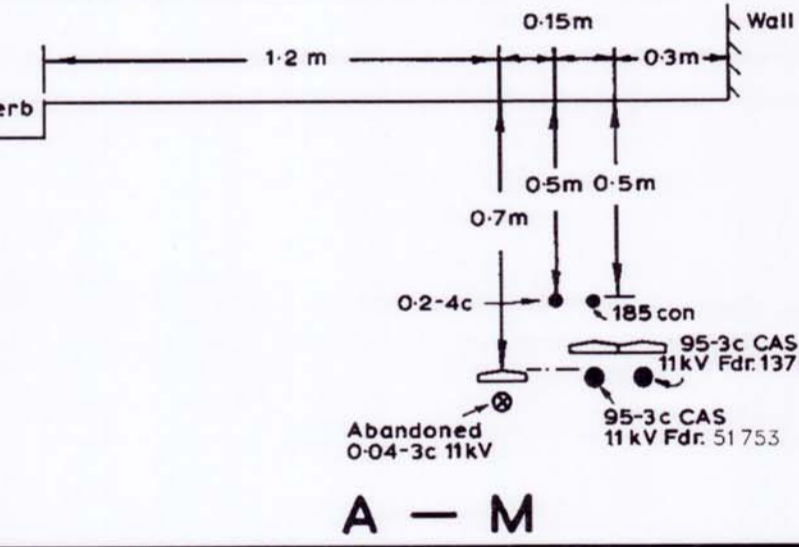
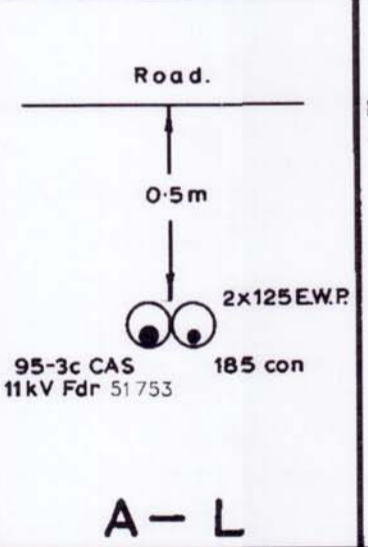
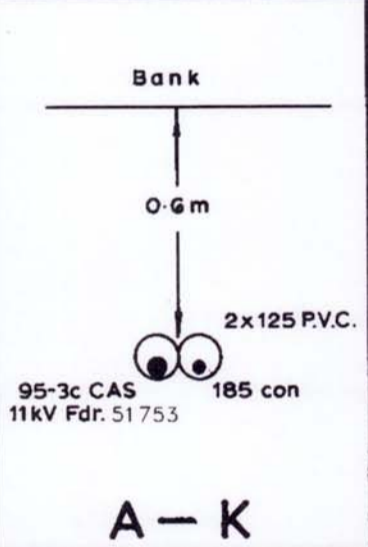
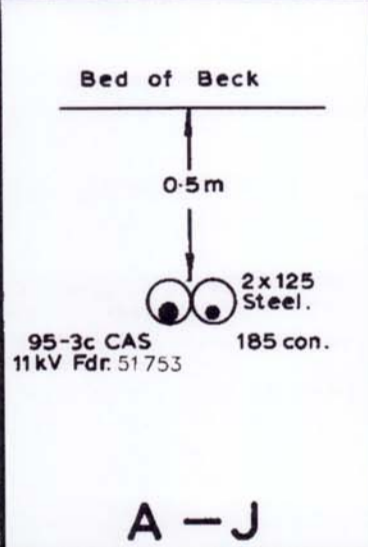
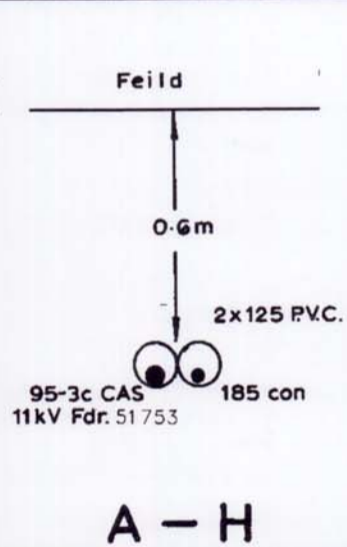
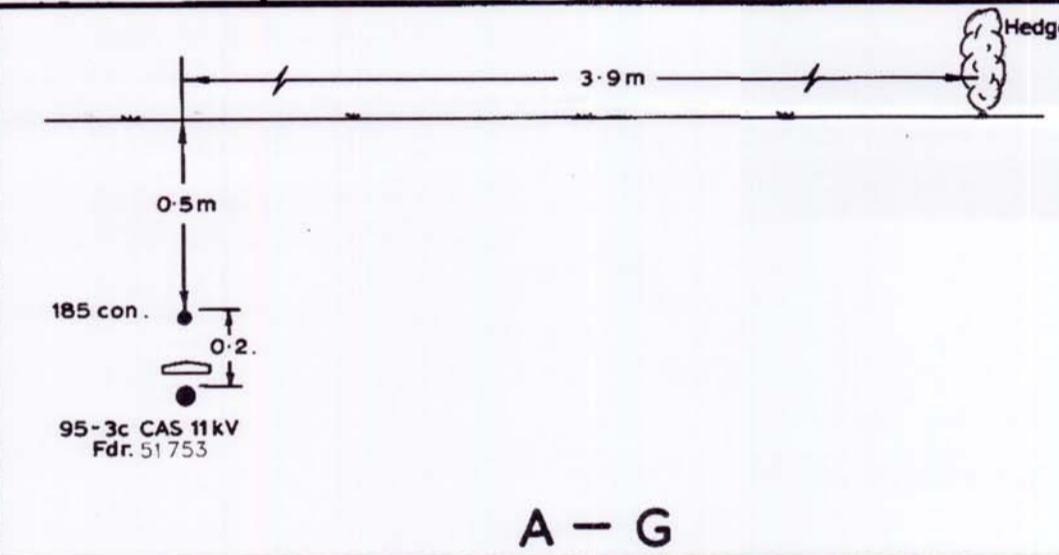
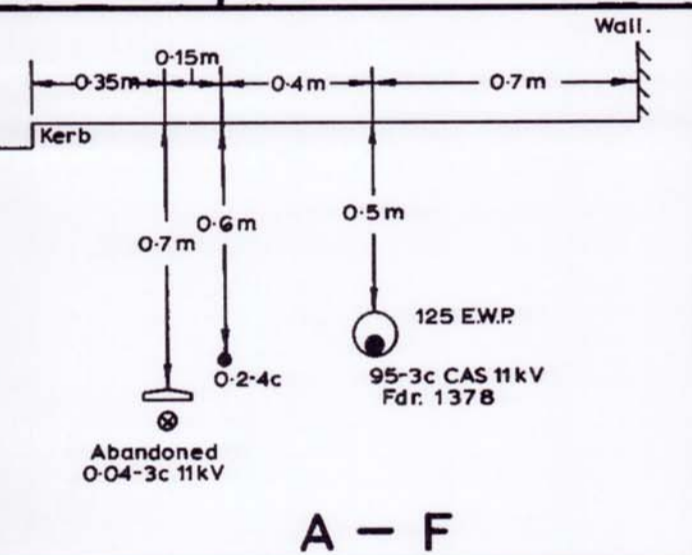
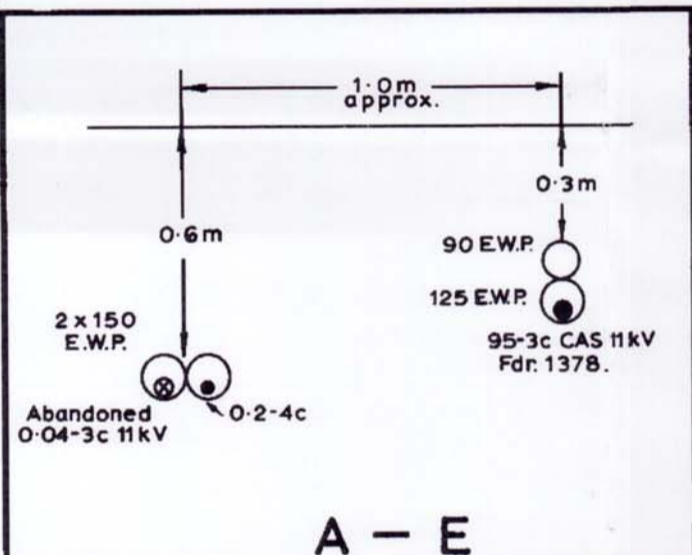
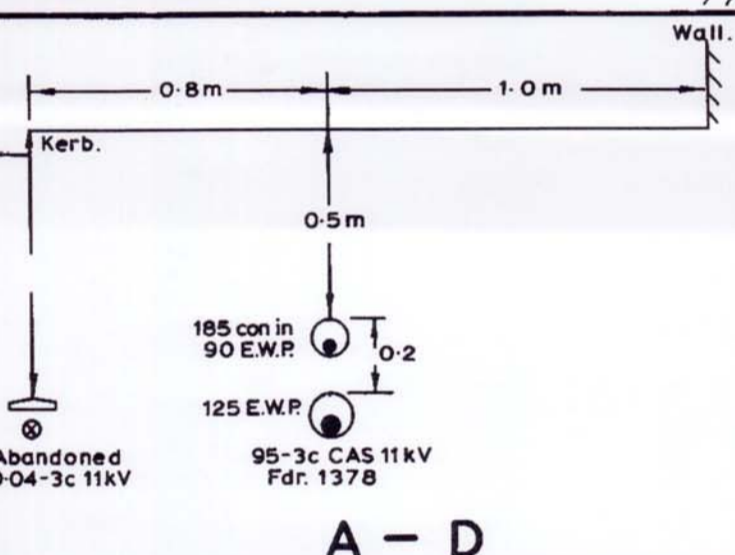
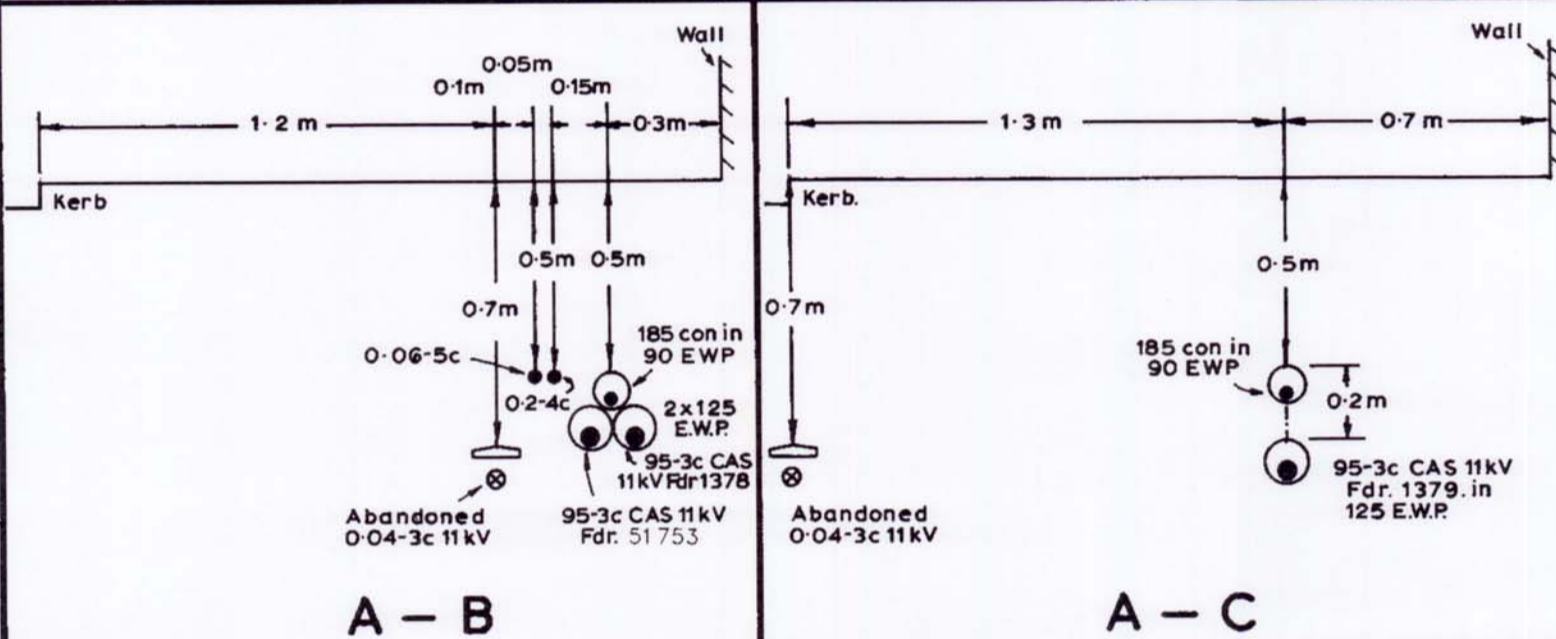
H.V. Jointed Nov. 1985.  
L.V. Jointed Oct. 1984.



ENLARGEMENT OF JOINTING IN F.P. OPP. No. 9 WESTHOLME PLACE.

REVISED  
21-11-85  
25-10-91  
7-5-97  
9-3-98

SCALE 1:50 WESTHOLME ROAD.

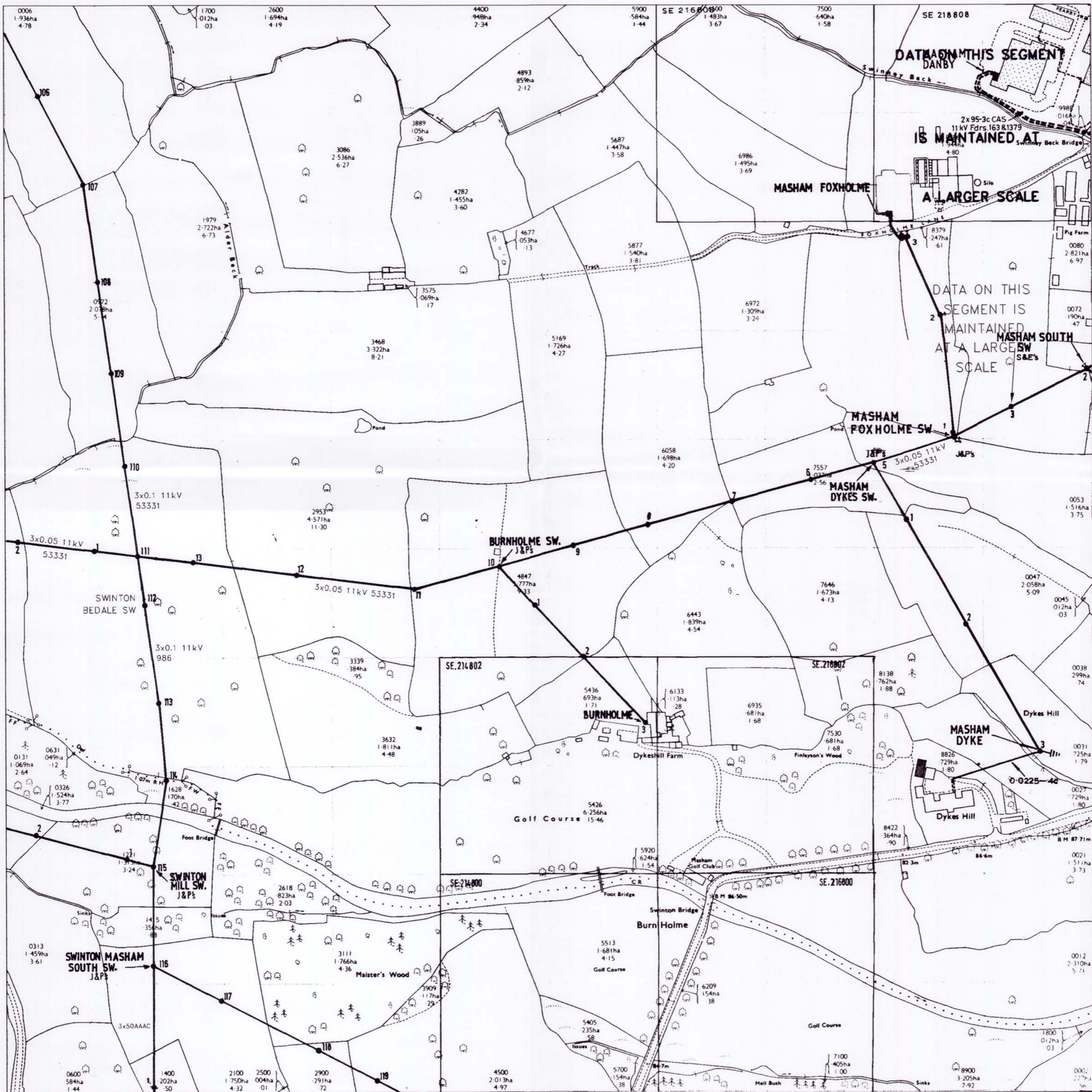


NORTH YORKSHIRE DISTRICT. SCALE :1/ 20

MASHAM FACING DETAIL SHEET NO : 1

SE 220808

FSHT. 1 TO SE220808



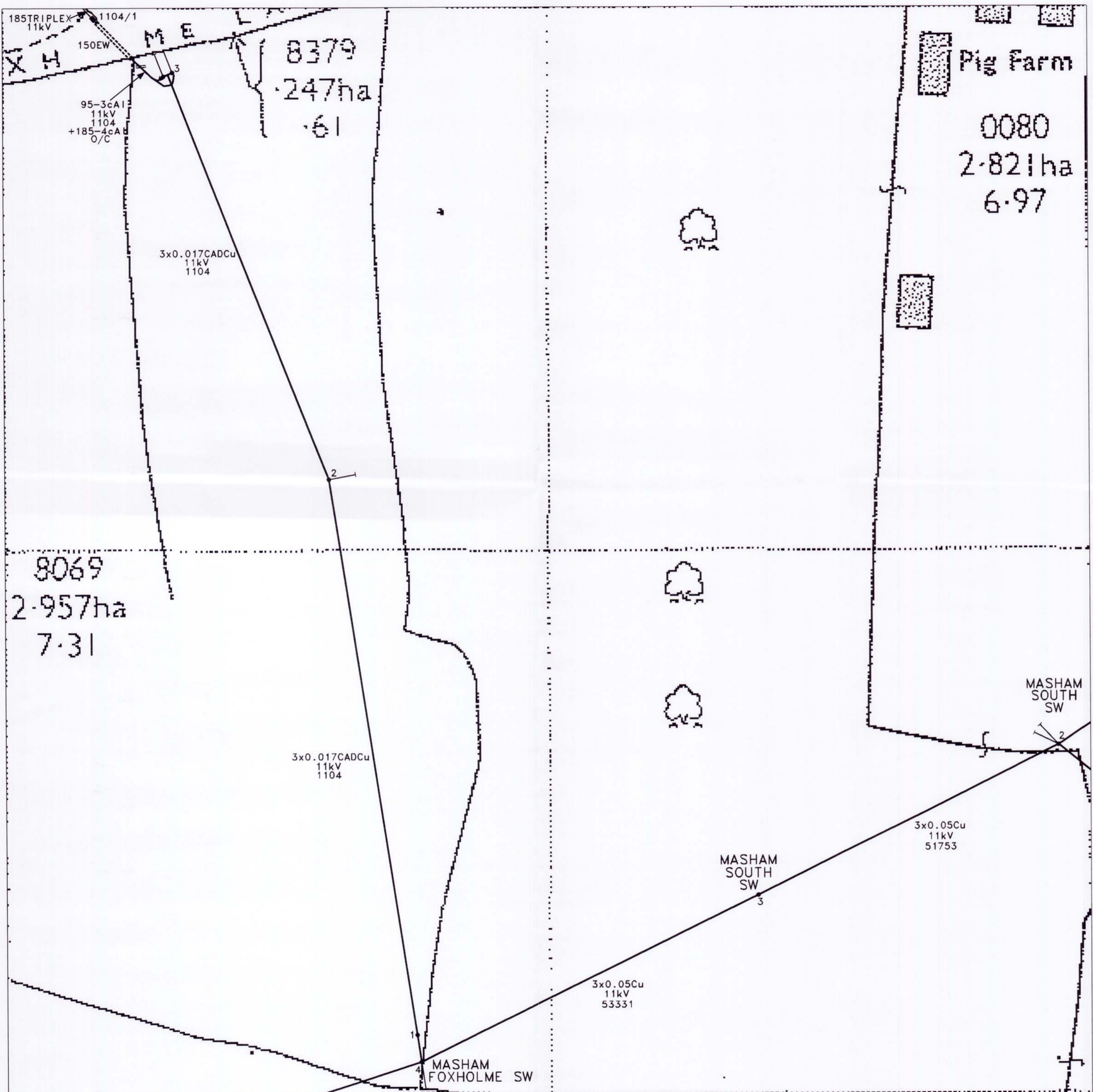
**NEDL** Scale: 1:2500  
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 Date: 14 Feb 2011

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**NEDL** Scale: 1:500  
 Map: SE218806.TIF  
 Date: 14 Feb 2011

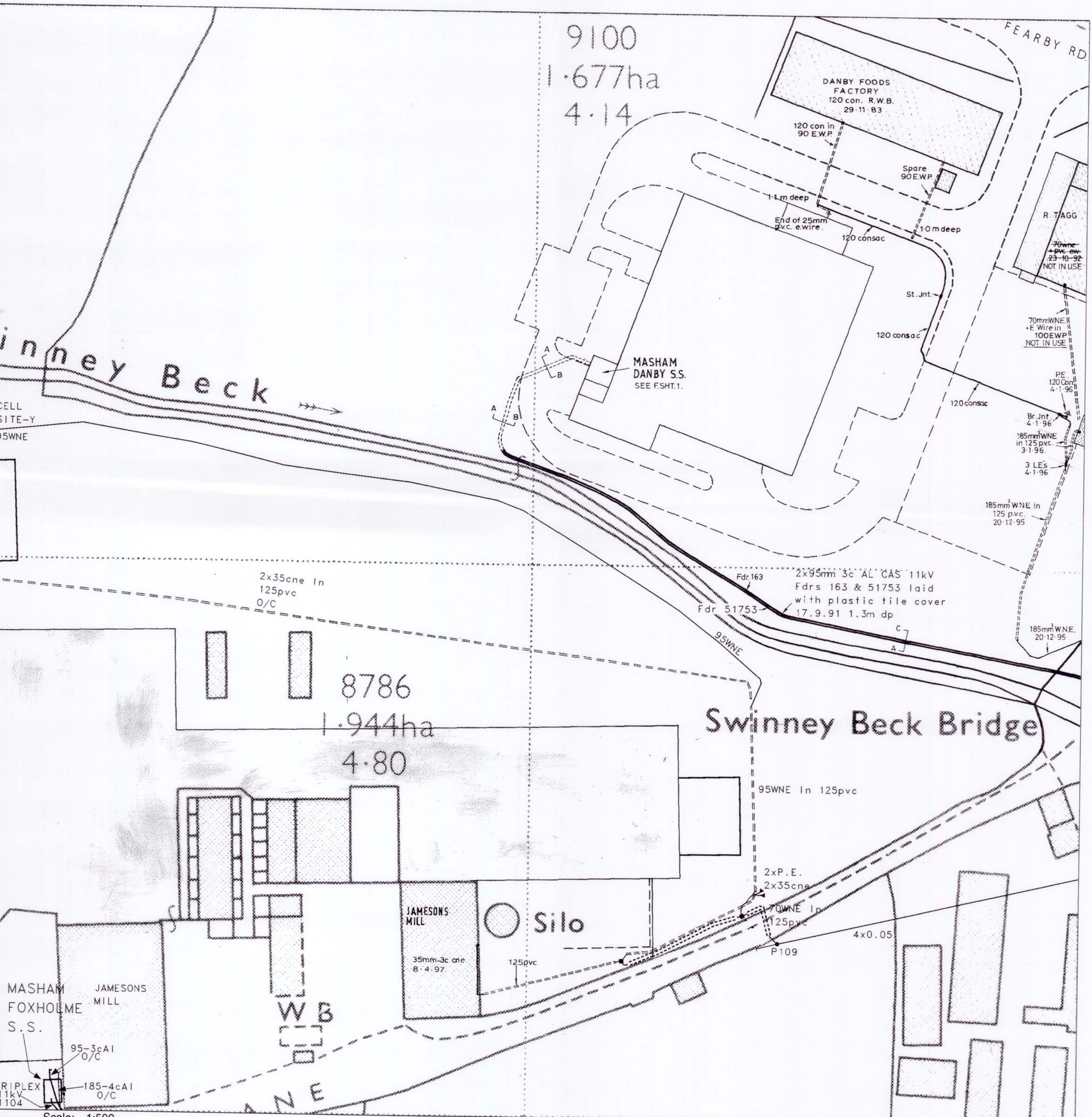
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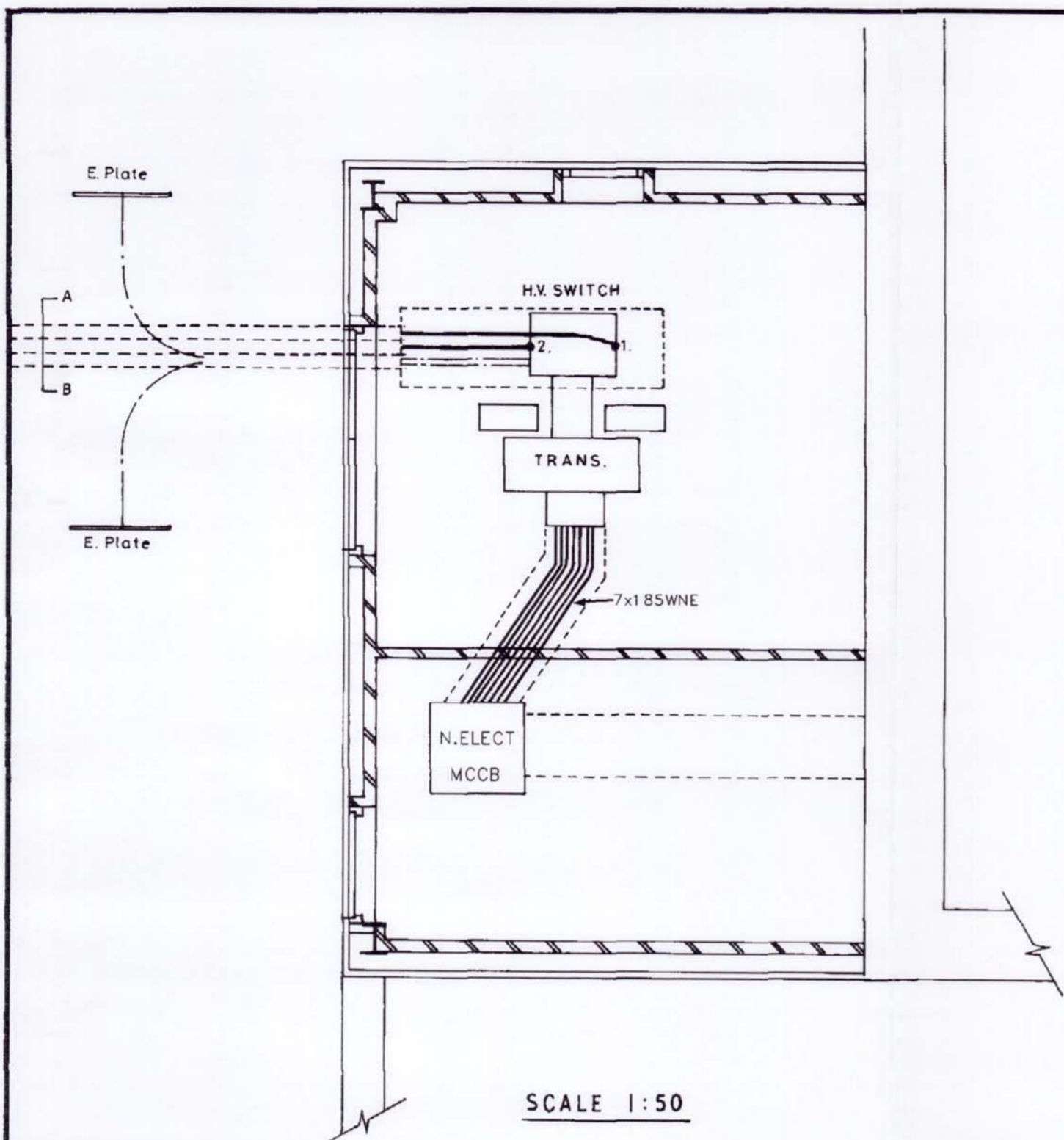
DL  
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 Map: SE218808.TIF  
 Date: 14 Feb 2011

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25-10-91  
REVISED



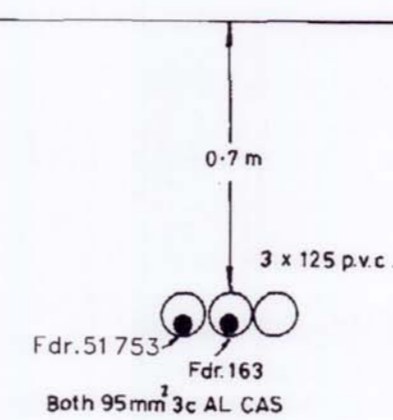
**MASHAM DANBY S.S.**

11 kV E. BOXES

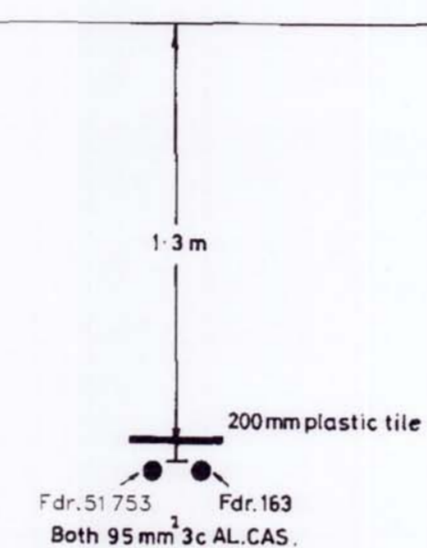
- 1. MASHAM SOUTH SW-MASHAM DANBY 95-3c CAS Fdr.51753
- 2. MASHAM WESTHOLME S/S 95-3c CAS Fdr.163

Jointed 14-10-91

SCALE 1:50



A - B



A - C

NORTH YORKSHIRE DISTRICT. SCALE: 1/20 HARROGATE FACING DETAIL SHEET NO: 1 SE 218808

E. SH. 1 TO SE 218808

**NEDL** Scale: 1:500  
Map: SE218808.001  
Date: 14 Feb 2011

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# Telecommunications

## Openreach Plant Maps Requested

NewSite Office (addresses can be located from [here](#))  
National Freephone: 0800 616 866

Dear Sir/Madam,

Thank you for your request to: [www.openreach.co.uk/networkinfo/](http://www.openreach.co.uk/networkinfo/)

You have downloaded copies of our drawings marked up to show the approximate location of Openreach apparatus, which is present in the immediate vicinity of your works. It is intended for general guidance only. No guarantee is given of its accuracy. It should not be relied upon in the event of excavations or other works made near to Openreach apparatus, which may, exist at various depths and may deviate, from the marked route.

To avoid damage it is recommended that mechanical excavators or borers are not used within 600mm of Openreach plant. Please ensure that our equipment is not enclosed, blocked, covered or otherwise obstructed by your plant. In the event of clearance not being adequate we anticipate that your plant is either resited, or an order is placed with Openreach for rearrangements of its plant. If there are any difficulties with the Map please ring 0800 616866.

---

Please contact our Network Protection Service if required by dialling 0800 917 3993 or by Email on [DBYD@openreach.co.uk](mailto:DBYD@openreach.co.uk) giving seven days notice of your commencement date. This will provide you with on-site advice and a check of location for any Openreach apparatus.

---

Further to this, I hope the following points will assist you at the new development: -

Openreach has a licence obligation to provide service to any end customer requiring a connection. A Developer would not normally be charged for provision of service, our standard connection charges would apply to the end user when orders are placed with the communication provider of choice. However, should a Developer insist on an underground service in an area where Openreach plant is provided overhead, charges may be incurred.

When the Developer has obtained contract and planning permission Openreach would request a 'Clean', scaled Site Layout, Location Map and a covering letter be sent to the relevant newSite Office. We would particularly request that you give details of your programmed site start date and likely first occupancy date where possible. To obtain contact details of the newSite office covering the development area click on the URL below.

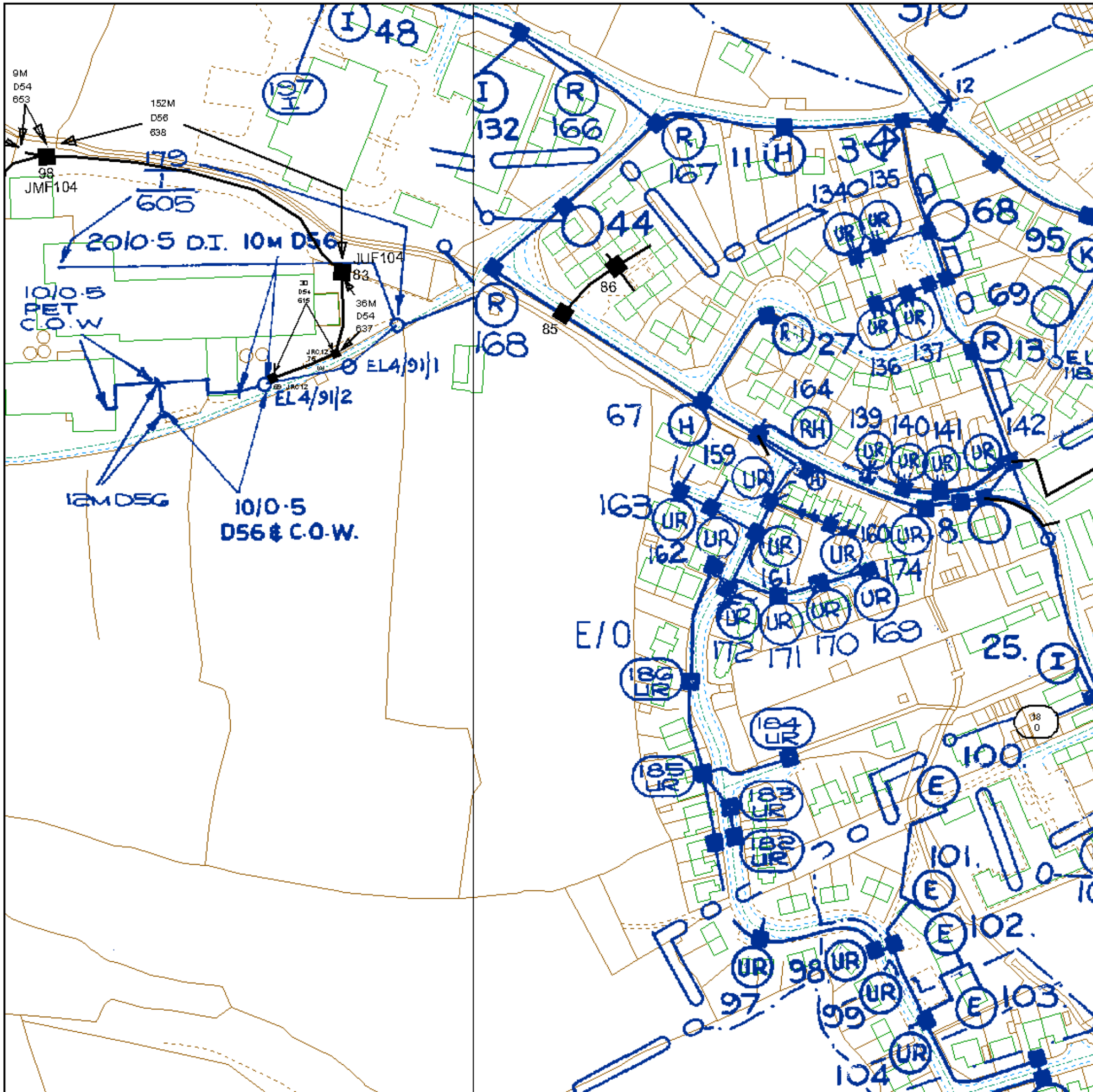
<http://www.openreach.co.uk/orpg/networkinfo/developnetwork/regionalcontacts.do>

Where a development affects existing Openreach apparatus in the public highway, the cost of any necessary protection or diversionary works must be borne by the Developer. In this case where a budget estimate is required a Site Plan, Location Map and a covering letter should be forwarded to the Repayments Project Office. Please visit <http://www.openreach.co.uk/orpg/networkinfo/alternetwork/alterationcontacts.do> for contact details of the Repayments Office covering the development area.

Yours faithfully,

## Openreach newSites

# Maps by email Plant Information Reply



## IMPORTANT WARNING

Information regarding the location of BT apparatus is given for your assistance and is intended for general guidance only. No guarantee is given of its accuracy.

It should not be relied upon in the event of excavations or other works being made near to BT apparatus which may exist at various depths and may deviate from the marked route.

## DIAL BEFORE YOU DIG

FOR PROFESSIONAL ON SITE ASSISTANCE PRIOR TO COMMENCEMENT OF EXCAVATION WORKS

ADVANCE NOTICE REQUIRED  
(Office hours: Monday-Friday 08.00 to 17.00)

Tel: 0800 9173993  
E-mail: [dbyd@openreach.co.uk](mailto:dbyd@openreach.co.uk)  
Website: [www.dialbeforeyoudig.com](http://www.dialbeforeyoudig.com)

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## KEY TO BT SYMBOLS

|  |                    |  |               |
|--|--------------------|--|---------------|
|  | UNDERGROUND PLANT  |  | POLE          |
|  | OVERHEAD PLANT     |  | CABINET       |
|  | JOINT BOX          |  | BURIED JOINT  |
|  | DISTRIBUTION POINT |  | JOINTING POST |
|  | MANHOLE            |  | PROPOSED U/G  |
|  | DP BOUNDARY        |  | PROPOSED O/H  |
|  | OTHER BT BOUNDARY  |  | PROPOSED BOX  |

Other proposed plant is shown using dashed lines. BT symbols not listed above may be disregarded. Existing BT plant may not be recorded. Information valid at the time of preparation.

**openreach**  
a BT Group business

BT ref: FXZ14412S

Map reference (centre): SE2203580746

Issued: 18/01/11 14:50:21

## Laidler, Paul

---

**From:** Laidler, Paul  
**Sent:** 21 January 2011 13:47  
**To:** [newsite.manchester@openreach.co.uk](mailto:newsite.manchester@openreach.co.uk)  
**Subject:** Westholme Road, Masham  
**Attachments:** Site Boundary.pdf

Dear Sirs,

### Westholme Road, Masham, North Yorkshire Provision of Telecomm's Supply to a Proposed Development Site

We have been appointed to undertake a utilities infrastructure study and prepare a report to support the LDF Reps application. Although the ultimate customer will be W.E. Jameson and Son please direct any correspondence relating to this pre-planning enquiry direct to me.

The proposed development is for the construction of 85 residential units and a doctors surgery with gross floor area of c4,800sq.ft.. The timing and phasing of the development is subject to market conditions but it is considered that construction will begin in 2013.

As the proposed scheme is in the early stages of development we require budget estimates to support the allocation of the site in the LDF Reps.

Outline budget estimates / information is required for the following items:-

- Confirmation of any available spare capacity within the existing network that could be used for the development without the need for upgrading the network
- Any off site network upgrading required to supply the proposed number of properties
- Provision of onsite network infrastructure
- Any significant diversion works required

In support of this request, please find attached a copy of the site area for the proposed development. At present the masterplan is not of sufficient detail to identify locations of individual structures and budget estimates and constraints will be sufficient.

I hope the information presented is sufficient for you to review the supply to the site and look forward to receiving information on the above issues.

Should you need any additional information or wish to discuss this please feel free to contact me.

Regards,

**Paul Laidler**  
**Principal Engineer**  
**WSP UK**

Development & Transportation  
Three White Rose Office Park, Millshaw Park Lane, Leeds LS11 0DL  
Tel: +44 (0)113 395 6200  
DD: +44 (0)113 395 6302  
Fax: +44 (0)113 395 6201  
Website: [www.wspgroup.com](http://www.wspgroup.com)

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**WSP UK Limited Registered Office: WSP House, 70 Chancery Lane, London, WC2A 1AF Registered Number 01383511  
England**



KEY



TITLE

WESTHOLME ROAD, MASHAM

FIGURE No:

SITE BOUNDARY

0 0.01 km  
Google



PAUL LAIDLER  
WSP UK LTD  
THREE WHITEROSE OFFICE PARK  
MILLSHAW PARK LANE  
LEEDS  
LS11 0DL

P.P. 1C  
BRADFORD CENTRAL ATE  
MANCHESTER ROAD  
BRADFORD  
BD5 0QJ

Your Ref:  
Openreach newSite Ref: MHH/017

07 February 2011

Dear Sir,

**Re: WESTHOLME ROAD, MASHAM, RIPON**

Thank you for your enquiry dated 21st January 2011. To obtain the location of the existing Openreach plant in the vicinity of the site please go to maps by e-mail at [www.openreach.co.uk/orpg/networkinfo/locatenetwork/mapbyemail.do](http://www.openreach.co.uk/orpg/networkinfo/locatenetwork/mapbyemail.do), contacting [stoke.incoming.notices@openreach.co.uk](mailto:stoke.incoming.notices@openreach.co.uk) for access, there is a charge for using this facility. The information is given for assistance and is intended for guidance only, no guarantee is given of it's accuracy. If you require paper copies of the existing apparatus to be posted by the Openreach newSite office, then a minimum charge of £55 excluding VAT will be raised by Openreach for this service.

Please note: Any BT plant shifts on site that are essential for improvements, may be chargeable under Paragraph 20 of the Communications Code.

To obtain a more precise location please contact 'Dial Before You Dig' (Tel: 0800 917 3993, Fax: 0208 326 4050, e-mail: [dbyd@openreach.co.uk](mailto:dbyd@openreach.co.uk)), to arrange for an Openreach representative to visit the site and mark existing Openreach apparatus. Where a proposed development will affect existing Openreach apparatus in the public highway, the cost of any protection or diversionary work required must be borne by the developer. If you require diversionary costs or similar, our Repayments group will require a clear, 1:500 scaled plan of proposed works. Details can be found at [www.openreach.co.uk/networkalteration](http://www.openreach.co.uk/networkalteration).

To progress the enquiry when the developer has obtained a contract and/or planning permission, Openreach would request that a 1:500 scaled Site Layout, Location Map and a covering letter is sent to the above address (at least one copy of your site layout should be free from landscaping and other services). Openreach would ideally require 3 months notice before work commences.

Should you require any further assistance, please do not hesitate to contact us in the newSite office, quoting the above Openreach newSite reference.

Yours faithfully,

Jean Lees  
Openreach newSite

Tel No:0800 389 8537  
Fax No:01908 861082  
e-mail:[newsite.leeds@openreach.co.uk](mailto:newsite.leeds@openreach.co.uk)

British Telecommunications plc  
Registered Office  
81 Newgate Street, London. EC1A 7AJ  
Registered in England no. 1800000  
BT is an ISO 9001 Registered Company  
[www.openreach.co.uk](http://www.openreach.co.uk)

Please visit our website at [www.openreach.co.uk/newsite](http://www.openreach.co.uk/newsite)

---



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## Other Utilities / Utilities not affected





**JSM Construction Ltd**

Unit 18 Galley Hill Yard  
Galley Hill  
Waltham Abbey  
Essex, EN9 2AG

**AboveNet Plant Protection Centre,  
c/o JSM Construction Ltd,  
Plant Protection Department,  
Unit 18, Galley Hill Yard,  
Galley Hill,  
Waltham Abbey,  
Essex, EN9 2AG**

Date: 19 January 2011

*Our Ref:* **JSM/PE/ACUK/11/P0212**  
*Your Ref:* **Westholme Road**

To whom it may concern

**ABOVENET UK NOT AFFECTED C2 PRELIMINARY PLANT ENQUIRY**

Thank you for your enquiry dated 18/01/2011.

We confirm that AboveNet Communications UK do not have any apparatus in the vicinity of your proposed works.

Please note all AboveNet plant is located within the M25 except for in the following areas: Thurrock Council, Basildon District Council and the Slough Business Estate.

For a quicker response please email all plant enquires to [plantenquiries@jsmconstruction.com](mailto:plantenquiries@jsmconstruction.com)

Please do not hesitate to contact us for further assistance.

Yours faithfully,

JSM Construction Plant Protection Department  
T: 01992 788019  
Email: [plantenquiries@jsmconstruction.com](mailto:plantenquiries@jsmconstruction.com)

## Craig Cockerham

---

**From:** Krishnaraj Kumar [Krishnaraj.Kumar@atkinglobal.com]  
**Sent:** 21 January 2011 04:02  
**To:** Craig Cockerham  
**Subject:** RE: New Asset Enquiry - Westholme Road Development, Masham

Dear Sirs,

Please accept this email as confirmation that Cable&Wireless Worldwide **does not** have apparatus within the boundary of your proposed works detailed in the reference/location above.

Many Thanks,

The Plant Enquiry Team

**ATKINS** (working on behalf of **Cable&Wireless Worldwide**)

**Email:** [osm.enquiries@atkinglobal.com](mailto:osm.enquiries@atkinglobal.com)

The Hub, 500 Park Avenue, Almondsbury, Bristol, BS32 4RZ

Tel: +44 (0)1454 662 881 | Fax: +44 (0)1454 66330

Web: [www.atkinglobal.com](http://www.atkinglobal.com)

### PLEASE NOTE:

**The information given is indicative only. No warranty is made as to its accuracy. This information must not be solely relied upon in the event of excavation or other works carried out in the vicinity of Cable & Wireless Worldwide Ltd, plant. No liability of any kind whatsoever is accepted by C&W, its servants, or agents, for any error or omission in respect of information contained on this information. The actual position of underground services must be verified and established on site before any mechanical plant is used. Authorities and contractors will be held liable for the full cost of repairs to C&W's apparatus and all claims made against them by Third parties as a result of any interference or damage.**

***As of Monday 26th October 2009, Atkins will reply to Plant Enquiries for the ex-Thus network now owned by Cable and Wireless Worldwide.***

***Only one enquiry request is necessary per location, all responses and plans received will include both networks. The process to request this information is unchanged.***

---

**From:** Craig Cockerham [<mailto:craig.cockerham@centara-ltd.com>]

**Sent:** 18 January 2011 17:27

**To:** [plantenquiries@jsmconstruction.com](mailto:plantenquiries@jsmconstruction.com); National Plant Enquiry's; [safediggingplans@ce-electricuk.com](mailto:safediggingplans@ce-electricuk.com); [nrswa@sns.bskyb.com](mailto:nrswa@sns.bskyb.com); [info@energetics-uk.com](mailto:info@energetics-uk.com); [nrswa@envoyonline.co.uk](mailto:nrswa@envoyonline.co.uk); [plant@espipelines.com](mailto:plant@espipelines.com); Fibrespan; [streetworks@gammatelecom.com](mailto:streetworks@gammatelecom.com); [genesys.noc@fluor.com](mailto:genesys.noc@fluor.com); [nrswa@gtc-uk.co.uk](mailto:nrswa@gtc-uk.co.uk); [interoute.enquiries@plancast.co.uk](mailto:interoute.enquiries@plancast.co.uk); [highwaysadmin@kcom.com](mailto:highwaysadmin@kcom.com); [plantenquiries@mcnicholas.co.uk](mailto:plantenquiries@mcnicholas.co.uk); [opburiedservicesenquiries@networkrail.co.uk](mailto:opburiedservicesenquiries@networkrail.co.uk); [plantprotection@uuplc.co.uk](mailto:plantprotection@uuplc.co.uk); [jj.kaur@serco.com](mailto:jj.kaur@serco.com); [telentelia.plantenquiries@telent.com](mailto:telentelia.plantenquiries@telent.com); [osp-team@uk.verizonbusiness.com](mailto:osp-team@uk.verizonbusiness.com)

**Subject:** New Asset Enquiry - Westholme Road Development, Masham

Dear Sir / Madam,

Please could you provide copies of your All your Owned Network Assets at the location as shown in the attached plan.

The area is:

**Westholme Road Development, Masham**  
**Grid Reference – 422035, 480746**

Wherever possible please could you forward any responses via email to [craig.cockerham@centara-ltd.com](mailto:craig.cockerham@centara-ltd.com) or to the address below.

Regards

**Craig Cockerham**

Bureau Team Leader

Centara Ltd  
Office 1, Normanton Business Park,  
Ripley Drive,  
Normanton,  
WF6 1QT

Tel: (01924) 220726 | Fax: 05603 445828 | Mobile: 07795 958723 | Email: [craig.cockerham@centara-ltd.com](mailto:craig.cockerham@centara-ltd.com)

[www.centara-ltd.com](http://www.centara-ltd.com)



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careline

**From:** Craig Cockerham [craig.cockerham@centara-ltd.com]  
**Sent:** 18 January 2011 11:57  
**To:** plantenquiries@ismconstruction.com; osm.enquiries@atkinsglobal.com;  
safediggingplans@ce-electricuk.com; nrswa@sns.bskyb.com; info@energetics-uk.com;  
nrswa@envoyonline.co.uk; plant@espipelines.com; Fibrespan;  
streetworks@gammatelecom.com; genesys.noc@fluor.com; nrswa@gto-uk.co.uk;  
interoute.enquiries@plancast.co.uk; highwaysadmin@kcom.com; plantenquiries;  
opburiedservicesenquiries@networkrail.co.uk; plantprotection@uuptc.co.uk;  
jj.kaur@serco.com; telentelia.plantenquiries@telent.com; osp-  
team@uk.verizonbusiness.com  
**Subject:** New Asset Enquiry - Westholme Road Development, Masham  
**Attachments:** Utility Searches Area.pdf

Dear Sir / Madam,

Please could you provide copies of your All your Owned Network Assets at the location as shown in the attached plan.

18 JAN 2011

The area is:

Received in McNicholas Planning  
& Works Control

Westholme Road Development, Masham  
Grid Reference - 422035, 480746

Wherever possible please could you forward any responses via email to [craig.cockerham@centara-ltd.com](mailto:craig.cockerham@centara-ltd.com) or to the address below.

Regards

Craig Cockerham  
Bureau Team Leader

Centara Ltd  
Office 1, Normanton Busine:  
Ripley Drive,  
Normanton,  
WF6 1QT

Your proposal will NOT affect

COLT Apparatus

Date: 19/01/2011

Signed: RP

N30507

Tel: (01924) 220726 | Fax: 05603 445828 | Mobile: 07795 958723 | Email: [craig.cockerham@centara-ltd.com](mailto:craig.cockerham@centara-ltd.com)

[www.centara-ltd.com](http://www.centara-ltd.com)

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caroline

From: Craig Cockerham [craig.cockerham@centara-ltd.com]  
 Sent: 18 January 2011 11:57  
 To: plantenquiries@smconstruction.com; osm.enquiries@atkinsglobal.com;  
 safediggingplans@ce-electricuk.com; nrswa@sns.bskyb.com; info@energetics-uk.com;  
 nrswa@envoyonline.co.uk; plant@esppellies.com; Fibrespan;  
 streetworks@gammatelecom.com; genesys.noc@fluor.com; nrswa@gto-uk.co.uk;  
 interoute.enquiries@plancast.co.uk; highwaysadmin@kcom.com; plantenquiries;  
 opburiedservicesenquiries@networkrail.co.uk; plantprotection@uuplc.co.uk;  
 jj.kaur@serco.com; telentella.plantenquiries@telent.com; osp-  
 team@uk.verizonbusiness.com  
 Subject: New Asset Enquiry - Westholme Road Development, Masham  
 Attachments: Utility Searches Area.pdf

Dear Sir / Madam,

Please could you provide copies of your All your Owned Network Assets at the location as shown in the attached plan.



The area is:

Westholme Road Development, Masham  
Grid Reference - 422035, 480746

Wherever possible please could you forward any responses via email to [craig.cockerham@centara-ltd.com](mailto:craig.cockerham@centara-ltd.com) or to the address below.

Regards

Craig Cockerham  
Bureau Team Leader

Centara Ltd  
Office 1, Normanton Business Park  
Ripley Drive,  
Normanton,  
WF6 1QT

**McNicholas**  
 Your proposal will NOT affect  
**TATA COMMUNICATIONS** Apparatus  
 Date: 20/01/2011 Signed: RP  
 N20214

Tel: (01924) 220726 | Fax: 05603 445828 | Mobile: 07795 958723 | Email: [craig.cockerham@centara-ltd.com](mailto:craig.cockerham@centara-ltd.com)

[www.centara-ltd.com](http://www.centara-ltd.com)

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## Craig Cockerham

---

**From:** Tracey White [Tracey.White@sns.bskyb.com]  
**Sent:** 18 January 2011 15:29  
**To:** 'craig.cockerham@centara-ltd.com'  
**Subject:** Easynet Telecom Plant Enquiry - PE11-01-1113 : Centara Ltd -

**Attention:** Craig Cockerham - Centara Ltd

Dear Sir/Madam,

### **RE: Westholme Road Development**

Thank you for your enquiry.

Please be advised that Easynet Telecom will not be affected by these works.

Best endeavours have been made to ensure accuracy, however if you require further information, please contact us.

If you would like to submit your plant enquiries electronically to Easynet, please send them to [nrswa@sns.bskyb.com](mailto:nrswa@sns.bskyb.com)

Please be advised that our fax number has changed to 0207 032 3252.

Regards

**NRSWA Department**  
Network Infrastructure and Planning  
Easynet Telecom / Sky Network Services  
70 Buckingham Avenue  
SLOUGH  
SL1 4PN

T +44 (0) 207 032 3234/250/251  
F +44 (0) 207 032 3252  
E [nrswa@sns.bskyb.com](mailto:nrswa@sns.bskyb.com)

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## Craig Cockerham

---

**From:** Russell Fleck [russell.fleck@energetics-uk.com]  
**Sent:** 21 January 2011 13:17  
**To:** craig.cockerham@centara-ltd.com  
**Subject:** Westholme Road

Dear Sir/ Madam

I would like to take the opportunity to personally thank you for submitting your recent enquiry. This email is to acknowledge receipt of your enquiry and provide you with the relevant information to progress your plant enquiry.

Energetics **does not** have any plant within the area that you have sent in to us.

If you require another further assistants with this enquiry or future enquires please do not hesitate to contact myself or alternatively at [Info@energetics-uk.com](mailto:Info@energetics-uk.com).

Once again I would like to thank you submitting your enquiry to Energetics Networked Energy.

Yours sincerely,

**Russell Fleck**  
CAD Operator

Energetics Networked Energy  
International House  
Stanley Boulevard  
Hamilton International Technology Park  
Glasgow  
G72 0BN

t: 01698 404970  
f: 01698 404940

e: [russell.fleck@energetics-uk.com](mailto:russell.fleck@energetics-uk.com)  
w: [www.energetics-uk.com](http://www.energetics-uk.com)

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Craig Cockerham  
Centara Ltd  
Office 1, Normanton Business Park  
Ripley Drive  
Normanton  
WF6 1QT

Ocean Park House  
East Tyndall Street  
Cardiff  
CF24 5GT  
[www.envoyonline.co.uk](http://www.envoyonline.co.uk)  
Tel 0845 055 6199

Our Ref : 1063250

Your Ref : Westholme Road Development, Masham

21 January 2011

#### APPARATUS UNAFFECTED

RE: Site Location : Westholme Road Development Masham

Grid Reference: 422035,480746

Dear Craig Cockerham

With regard to your enquiry, I can confirm that Independent Pipelines, Independent Power Networks or Quadrant Pipelines DO NOT have any apparatus within the immediate proximity of your proposed works.

If you have any queries or require any further information, please do not hesitate to contact me on 08450 556 199 Ext. 2046 quoting Our Reference number.

Yours sincerely,

Tomas Ali  
Asset Operations Maintenance  
Tel: 0845 055 6199

## Craig Cockerham

---

**From:** ES Pipelines [email@espipelines.com]  
**Sent:** 18 January 2011 14:29  
**To:** craig.cockerham@centara-ltd.com  
**Subject:** Reference: PE040532. Plant Not Affected Notice from ES Pipelines

Craig Cockerham  
Centara Ltd  
Office 1  
Normanton Business Park  
Normanton  
WF6 1QT

18 January 2011

Reference: Westholme Road Development

Dear Sir/Madam,

Thank you for your recent plant enquiry at: Westholme Road Development, Masham

I can confirm that ESP Gas Group Ltd has no gas or electricity apparatus in the vicinity of this site address and will not be affected by your proposed works.

ESP are continually laying new gas and electricity networks and this notification is valid for 90 days from the date of this letter. If your proposed works start after this period of time, please re-submit your enquiry.

### **Important Notice**

Please be advised that any enquiries for ESP Connections Ltd, formerly known as British Gas Connections Ltd, should be sent directly to us at the address shown above or alternatively you can email us at: [plant@espipelines.com](mailto:plant@espipelines.com)

Yours faithfully,

Alan Slee  
**Operations Manager**

## Craig Cockerham

---

**From:** Kate Jeffery [KJeffery@fibrespan.com]  
**Sent:** 27 January 2011 11:44  
**To:** Craig Cockerham  
**Subject:** RE: New Asset Enquiry - Westholme Road Development, Masham

Thank you for your enquiry. I can confirm that FibreSpan Ltd. does NOT have any plant affected by your proposed works.

Kind regards,

Kate

---

**From:** Craig Cockerham [<mailto:craig.cockerham@centara-ltd.com>]  
**Sent:** 18 January 2011 11:57  
**To:** [plantenquiries@jsmconstruction.com](mailto:plantenquiries@jsmconstruction.com); [osm.enquiries@atkingglobal.com](mailto:osm.enquiries@atkingglobal.com); [safediggingplans@ce-electricuk.com](mailto:safediggingplans@ce-electricuk.com); [nrswa@sns.bskyb.com](mailto:nrswa@sns.bskyb.com); [info@energetics-uk.com](mailto:info@energetics-uk.com); [nrswa@envoyonline.co.uk](mailto:nrswa@envoyonline.co.uk); [plant@espipelines.com](mailto:plant@espipelines.com); Plant Enquiries; [streetworks@gammatelecom.com](mailto:streetworks@gammatelecom.com); [genesys.noc@fluor.com](mailto:genesys.noc@fluor.com); [nrswa@gtc-uk.co.uk](mailto:nrswa@gtc-uk.co.uk); [interoute.enquiries@plancast.co.uk](mailto:interoute.enquiries@plancast.co.uk); [highwaysadmin@kcom.com](mailto:highwaysadmin@kcom.com); [plantenquiries@mcnicholas.co.uk](mailto:plantenquiries@mcnicholas.co.uk); [opburiedservicesenquiries@networkrail.co.uk](mailto:opburiedservicesenquiries@networkrail.co.uk); [plantprotection@uuplc.co.uk](mailto:plantprotection@uuplc.co.uk); [jj.kaur@serco.com](mailto:jj.kaur@serco.com); [telentelia.plantenquiries@telent.com](mailto:telentelia.plantenquiries@telent.com); [osp-team@uk.verizonbusiness.com](mailto:osp-team@uk.verizonbusiness.com)  
**Subject:** New Asset Enquiry - Westholme Road Development, Masham

Dear Sir / Madam,

Please could you provide copies of your All your Owned Network Assets at the location as shown in the attached plan.

The area is:

**Westholme Road Development, Masham**  
**Grid Reference – 422035, 480746**

Wherever possible please could you forward any responses via email to [craig.cockerham@centara-ltd.com](mailto:craig.cockerham@centara-ltd.com) or to the address below.

Regards

**Craig Cockerham**

Bureau Team Leader

Centara Ltd  
Office 1, Normanton Business Park,  
Ripley Drive,  
Normanton,  
WF6 1QT

Tel: (01924) 220726 | Fax: 05603 445828 | Mobile: 07795 958723 | Email: [craig.cockerham@centara-ltd.com](mailto:craig.cockerham@centara-ltd.com)

[www.centara-ltd.com](http://www.centara-ltd.com)

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---

**Kate Jeffery**

PA/Administrator

---



FibreSpan Limited  
The Quay  
Channel Way  
Southampton SO14 3TG  
United Kingdom

Tel: + 44 (0) 845 3138900

Fax: + 44 (0) 845 3138901

[www.fibrespan.com](http://www.fibrespan.com)

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# INSTALCOM LTD

**CIVILS AND CABLING INSTALLATION SPECIALIST**

Instalcom House, Manor Way, Herts, WD6 1QH

Telephone: 0208 731 4600 Fax: 0208 731 4601 Email: [plantenquiries@instalcom.co.uk](mailto:plantenquiries@instalcom.co.uk)

31st January 2011

Dear Craig,

**Your Ref** Westholme Road Development, Marsham

**Our Ref:** E01/11- 2076

With reference to your enquiry regarding the above noted location, I can confirm that GLOBAL CROSSING (UK) LTD, GLOBAL CROSSING PEC and FIBERNET UK LTD networks **DO NOT** have any apparatus within the immediate proximity of your proposed works.

Instalcom responds to plant enquiries for GLOBAL CROSSING (UK) LTD, GLOBAL CROSSING PEC and FIBERNET UK LTD simultaneously and therefore you only need send one copy of a plant enquiry to cover all of these companies. If you would like to query the location further, please email us accordingly and we can arrange an in depth survey, which will be charged at a cost. As we are moving towards a fully electronic database we urge our customers to request plant enquiries by email which will result in a higher level of service, please forward future plant enquiries to [plantenquiries@instalcom.co.uk](mailto:plantenquiries@instalcom.co.uk)

If you require any further information, please do not hesitate to contact me.

## **Plant Protection Administrator**

Instalcom Limited  
Instalcom House,  
Manor Way,  
Borehamwood,  
WD6 1QH

E mail:- [plantenquiries@instalcom.co.uk](mailto:plantenquiries@instalcom.co.uk)

Phone:- 020 8731 4600

Fax:- 020 8731 4601

[www.instalcom.co.uk](http://www.instalcom.co.uk)



## Craig Cockerham

---

**From:** Streetworks [streetworks@gammatelecom.com]  
**Sent:** 18 January 2011 18:48  
**To:** Craig Cockerham  
**Subject:** RE: New Asset Enquiry - Westholme Road Development, Masham

Dear Plant Enquirer,

Having examined my records, I can confirm that Gamma Telecom has no owned apparatus within the search area of your enquiry below:-

Regards

Ray

Gamma Telecom  
Plant Records  
Tel: 0333 240 3139  
Fax: 0161 877 5704

---

**From:** Craig Cockerham [<mailto:craig.cockerham@centara-ltd.com>]  
**Sent:** Tuesday, January 18, 2011 11:57 AM  
**To:** [plantenquiries@jsmconstruction.com](mailto:plantenquiries@jsmconstruction.com); [osm.enquiries@atkinsglobal.com](mailto:osm.enquiries@atkinsglobal.com); [safediggingplans@ce-electricuk.com](mailto:safediggingplans@ce-electricuk.com); [nrswa@sns.bskyb.com](mailto:nrswa@sns.bskyb.com); [info@energetics-uk.com](mailto:info@energetics-uk.com); [nrswa@envoyonline.co.uk](mailto:nrswa@envoyonline.co.uk); [plant@espipelines.com](mailto:plant@espipelines.com); Fibrespan; Streetworks; [genesys.noc@fluor.com](mailto:genesys.noc@fluor.com); [nrswa@gtc-uk.co.uk](mailto:nrswa@gtc-uk.co.uk); [interoute.enquiries@plancast.co.uk](mailto:interoute.enquiries@plancast.co.uk); [highwaysadmin@kcom.com](mailto:highwaysadmin@kcom.com); [plantenquiries@mcnicholas.co.uk](mailto:plantenquiries@mcnicholas.co.uk); [opburiedservicesenquiries@networkrail.co.uk](mailto:opburiedservicesenquiries@networkrail.co.uk); [plantprotection@uuplc.co.uk](mailto:plantprotection@uuplc.co.uk); [jj.kaur@serco.com](mailto:jj.kaur@serco.com); [telenttelia.plantenquiries@telent.com](mailto:telenttelia.plantenquiries@telent.com); [osp-team@uk.verizonbusiness.com](mailto:osp-team@uk.verizonbusiness.com)  
**Subject:** New Asset Enquiry - Westholme Road Development, Masham

Dear Sir / Madam,

Please could you provide copies of your All your Owned Network Assets at the location as shown in the attached plan.

The area is:

**Westholme Road Development, Masham**  
**Grid Reference – 422035, 480746**

Wherever possible please could you forward any responses via email to [craig.cockerham@centara-ltd.com](mailto:craig.cockerham@centara-ltd.com) or to the address below.

Regards

**Craig Cockerham**

Bureau Team Leader

Centara Ltd  
Office 1, Normanton Business Park,  
Ripley Drive,  
Normanton,  
WF6 1QT

[www.centara-ltd.com](http://www.centara-ltd.com)



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## Craig Cockerham

---

**From:** Janice.Modd@fluor.com on behalf of genesys@fluor.com  
**Sent:** 24 January 2011 15:15  
**To:** craig.cockerham@centara-ltd.com  
**Cc:** genesys.noc@fluor.com; GPDT@fluor.com  
**Subject:** Drawing Request - C2 Request / Genesys Ticket Request DR000746  
**Attachments:** Response DR000746.pdf; Request DR000746.pdf

Thank you for your letter/email to Genesys (attached for information) regarding the above.

Unfortunately, nothing has been returned in our searches for the documents requested, sorry we couldn't be of assistance on this occasion.

**Please address any queries regarding this email and its content to the Genesys Helpdesk on 0121 506 6253 or [genesys.noc@fluor.com](mailto:genesys.noc@fluor.com)**

Regards  
Janice Modd  
GDCG  
(GeneSYS Document Control Group)  
Tel: 0121 506 6253  
Fax: 0121 506 6101

DISCLAIMER: We do not hold any information for the area covered by your proposed works. There may be other cables and equipment present and we therefore recommend that you carry out your own survey and utilise suitable methods for identifying and protecting any Highways Agency equipment before commencing work.

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-----

Please address all correspondence and /or  
new enquiries to:

Date: **21/01/2011**

Our Ref: **IPE05013**

Interoute Plant Protection  
C/o Plancast Limited

1<sup>st</sup> Floor  
The Old Haybarn  
Rosebery Mews  
Mentmore  
LU7 0UE  
Tel: (+44) 01296 662647  
Fax: (+44) 01296 668322  
[Interoute.Enquiries@plancast.co.uk](mailto:Interoute.Enquiries@plancast.co.uk)  
[www.plancast.co.uk](http://www.plancast.co.uk)

Craig Cockerham  
Centara Ltd

Office 1  
Normanton Business Park  
Ripley Drive,  
Normanton,  
WF6 1QT

Location Ref: Westholme Road Development, Masham

LOCATION: Westholme Road Development, Masham

Dear Sirs

Thank you for your enquiry regarding the above proposals at the above location

***We would advise that we are unaware of any Interoute plant or services in this Location as indicated in your enquiry.***

***We bring to your attention the fact that whilst we try to ensure the information we provide is accurate, the information is provided Without Prejudice and Interoute and its Agents accept no liability for claims arising from any inaccuracy, omissions or errors contained in this response.***

Yours faithfully

**PLANCAST Plant Enquiry Department**

**NON AFFECTED PLANT ENQUIRY**

**KCOM Group Plc  
Network Engineering Centre  
Vulcan Street  
Hull  
HU6 7PS**

**Tel: 01482 603479**

**Kingston Communications network is not affected by the proposed works at the location specified below. This is valid for 3 months from date of receipt. For further info please call 01482 603479.**

**Please send all future enquiries to the postal address above or alternatively they can be e-mailed to [highwaysadmin@kcom.com](mailto:highwaysadmin@kcom.com)**

**Kingston Notice Number - 110145 Kingston Planner: SS**

**Undertaker Name Centara**

**Your Reference No None**

**Location : Westholme Road Development, Masham**

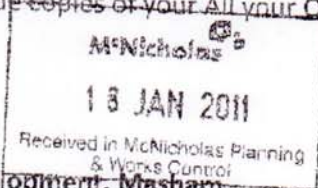
**careline**

**From:** Craig Cockerham [craig.cockerham@centara-ltd.com]  
**Sent:** 18 January 2011 11:57  
**To:** plantenquiries@jamconstruction.com; osm.enquiries@atkinsglobal.com; safediggingplans@ce-electricuk.com; nrswa@sns.bskyb.com; info@energetics-uk.com; nrswa@envoyonline.co.uk; plant@espipelines.com; Fibrespan; streetworks@gammatelecom.com; genesys.ncc@fluor.com; nrswa@gtc-uk.co.uk; interoute.enquiries@planacast.co.uk; highwayadmin@k.com.com; plantenquiries; opburiedservicesenquiries@networkrail.co.uk; plantprotection@uuplc.co.uk; jj.kaur@serco.com; telenttelia.plantenquiries@telent.com; osp-team@uk.verizonbusiness.com  
**Subject:** New Asset Enquiry - Westholme Road Development, Masham  
**Attachments:** Utility Searches Area.pdf

Dear Sir / Madam,

Please could you provide copies of your All your Owned Network Assets at the location as shown in the attached plan.

The area is:



**Westholme Road Development, Masham**  
**Grid Reference - 422035, 480746**

Wherever possible please could you forward any responses via email to [craig.cockerham@centara-ltd.com](mailto:craig.cockerham@centara-ltd.com) or to the address below.

Regards

**Craig Cockerham**

Bureau Team Leader

Centara Ltd  
 Office 1, Normanton Business Park,  
 Ripley Drive,  
 Normanton,  
 WF6 1QT

Your proposal will NOT affect  
 McNicholas  
 KPN International Apparatus  
 Date: 20/01/2011

N136TB

Signed: RP

Tel: (01924) 220726 | Fax: 05603 445828 | Mobile: 07795 958723 | Email: [craig.cockerham@centara-ltd.com](mailto:craig.cockerham@centara-ltd.com)

[www.centara-ltd.com](http://www.centara-ltd.com)

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# Search Results

**Thank you for your enquiry: LS-110118-MM-988-NIV**

Subject always to our standard terms and conditions, this enquiry result is valid for 28 days only from the date of enquiry and is based on the confirmed information you entered. If the location of the work changes then a further enquiry must be made. Should the work not be undertaken within 28 days of the enquiry then a further enquiry must be made.

---

## ENQUIRER DETAILS

Name: Mr Craig Cockerham  
 Company: Centara  
 Email: [craig.cockerham@centara-ltd.com](mailto:craig.cockerham@centara-ltd.com)  
 Tel: 01924 220726

## ENQUIRY DETAILS

Your reference: Westholme Road Development  
 Your location: 422035 480746  
 Confirmed location: OS grid reference (422035 480746)  
 Estimated start date: 18th March 2011  
 Planned works: No  
 Type of work: Development Projects - Housing  
 Distance covered: 250 metres

---

## NOT IN THE ZONE OF INTEREST

|   |  |
|---|--|
| BOC Limited (A Member of the Linde Group)   | Mainline Pipelines Limited                         |
| BP Exploration Purbeck Southampton Pipeline | Manchester Jetline Limited                         |
| BPA   | Marchwood Power Ltd (Gas Pipeline)                 |
| Centrica Energy                             | NPower CHP Pipelines                               |
| ConocoPhillips (UK) Ltd                     | National Grid Gas and Electricity Transmission     |
| ConocoPhillips Ltd Humber Refinery          | Oikos Storage Limited                              |
| Coryton Energy Co Ltd (Gas Pipeline)        | Premier Transmission Ltd (SNIP)                    |
| E-on UK Plc (Gas Pipelines Only)            | SABIC UK Petrochemicals                            |
| Esso Petroleum Company Limited              | Scottish Power Generation                          |
| FibreSpeed Limited                          | Shell UK Ltd                                       |
| Geo Networks Limited                        | Star Energy  |
| Government Pipelines & Storage System       | Total UK (Finaline, Colnbrook & Colwick Pipelines) |
| INEOS Manufacturing (Scotland and TSEP)     | Wingas Storage UK Ltd                              |
| Ineos Enterprises Limited                   |  |

**Thank you for your enquiry, there is no further action necessary.**

### Please note

The Linesearch.org system only contains information on National Grid's Transmission assets. All other National Grid or other local high pressure (above 7 bar) gas pipelines and lower pressure gas mains are not included.

For all other energy network operators' information and contact details see <http://2010.energynetworks.org/>

Please quote the Linesearch enquiry reference number in \*all\* correspondence

Please print this screen for your records.

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George Stephenson House  
Toft Green  
York YO1 6JT  
Tel: +44 (0) 1904 389690

Craig Cockerham  
Centara Ltd

Your Ref: Westholme Road Development, Masham  
Our Ref: 2011\_9225

Date: 18-Jan-11

Dear Craig Cockerham,

**Westholme Road Development, Masham**

With regards to your enquiry received 18/01/2011, Network Rail does not believe there is any Network Rail owned apparatus or buried services within the area you have defined. As there is always the possibility new works could be planned and undertaken in this area by Network Rail, this information is valid as at todays date and is supplied for general guidance only.

Please be aware that this response is based on Network Rail's records (many of which have been inherited from predecessor Organisations) and knowledge and no guarantee can be given regarding accuracy or completeness. CAT scans, safe digging practices (as contained in HSE publications) and other appropriate investigative techniques should always be carried out. There may be other apparatus or buried services owned or operated by Utility Companies and accordingly you should contact individual utilities for information.

If, in connection with your investigations and/or work, you become aware of Network Rail apparatus or buried services within your area of work, please ensure these are notified to me as a matter of urgency so that appropriate measures for avoidance of risk and damage can be put in place.

Yours faithfully

**Lawrence Hogan**  
Asset Protection Project Manager

## Craig Cockerham

---

**From:** plantsearch@maygurney.co.uk  
**Sent:** 18 January 2011 14:55  
**To:** craig.cockerham@centara-ltd.com  
**Subject:** AUTOMAIL: Orange Plant Search - Not Affected by sites

Dear Sir/Madam,

Your reference: Westholme Road  
FAO: Craig Cockerham  
Location: X = 422035 Y = 480746

With reference to your enquiry regarding the above noted location, please be advised that you have confirmed our records show that we do not currently hold any ORANGE PCS assets within your stated area of interest.

Please note, whilst we endeavour to provide accurate information, the information is intended as a general guide only and must not be relied upon in the event of any excavations or other work in the vicinity.

Also, the responsibility is on you, the client, to determine the area of works is clear. May Gurney will accept no liability for claims arising from any inaccuracy, omissions or errors contained herein.

If you require any further information then please do not hesitate to contact us.

Kind Regards

**Plant Protection Administrator**



[ops.maygurney.co.uk](http://ops.maygurney.co.uk)

Email: [plantsearch@maygurney.co.uk](mailto:plantsearch@maygurney.co.uk)

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## Craig Cockerham

---

**From:** Steph Wilson [steph.wilson@serco.com]  
**Sent:** 19 January 2011 09:59  
**To:** craig.cockerham@centara-ltd.com  
**Subject:** RE: New Asset Enquiry - Westholme Road Development, Masham [I]

Dear Craig,

I can confirm that we have no equipment in the location.

Kindest Regards

*Stephanie Wilson*

Serco Civil Government  
National Traffic Control Centre  
3 Ridgeway,  
Quinton Business Park,  
Quinton,  
Birmingham,  
B32 1AF

Tel: 0121-245-4726  
Fax: 0121-245-4848  
Email: [steph.wilson@serco.com](mailto:steph.wilson@serco.com)

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**From:** JJ Kaur [<mailto:jj.kaur@serco.com>]  
**Sent:** 18 January 2011 12:07  
**To:** 'Steph Wilson'  
**Subject:** FW: New Asset Enquiry - Westholme Road Development, Masham [I]

**Classification:** Serco Internal

---

**From:** Craig Cockerham [<mailto:craig.cockerham@centara-ltd.com>]  
**Sent:** 18 January 2011 11:57  
**To:** [plantenquiries@jsmconstruction.com](mailto:plantenquiries@jsmconstruction.com); [osm.enquiries@atkinglobal.com](mailto:osm.enquiries@atkinglobal.com); [safediggingplans@ce-electricuk.com](mailto:safediggingplans@ce-electricuk.com); [nrswa@sns.bskyb.com](mailto:nrswa@sns.bskyb.com); [info@energetics-uk.com](mailto:info@energetics-uk.com); [nrswa@envoyonline.co.uk](mailto:nrswa@envoyonline.co.uk); [plant@espipelines.com](mailto:plant@espipelines.com); Fibrespan; [streetworks@gammatelecom.com](mailto:streetworks@gammatelecom.com); [genesys.noc@fluor.com](mailto:genesys.noc@fluor.com); [nrswa@gtc-uk.co.uk](mailto:nrswa@gtc-uk.co.uk); [interoute.enquiries@plancast.co.uk](mailto:interoute.enquiries@plancast.co.uk); [highwaysadmin@kcom.com](mailto:highwaysadmin@kcom.com); [plantenquiries@mcnicholas.co.uk](mailto:plantenquiries@mcnicholas.co.uk); [opburiedservicesenquiries@networkrail.co.uk](mailto:opburiedservicesenquiries@networkrail.co.uk); [plantprotection@uuplc.co.uk](mailto:plantprotection@uuplc.co.uk); [jj.kaur@serco.com](mailto:jj.kaur@serco.com); [telenttelia.plantenquiries@telent.com](mailto:telenttelia.plantenquiries@telent.com); [osp-team@uk.verizonbusiness.com](mailto:osp-team@uk.verizonbusiness.com)  
**Subject:** New Asset Enquiry - Westholme Road Development, Masham

Dear Sir / Madam,

Please could you provide copies of your All your Owned Network Assets at the location as shown in the attached plan.

The area is:

**Westholme Road Development, Masham**  
**Grid Reference – 422035, 480746**

Wherever possible please could you forward any responses via email to [craig.cockerham@centara-ltd.com](mailto:craig.cockerham@centara-ltd.com) or to the address below.

Regards

**Craig Cockerham**

Bureau Team Leader

Centara Ltd  
Office 1, Normanton Business Park,  
Ripley Drive,  
Normanton,  
WF6 1QT

Tel: (01924) 220726 | Fax: 05603 445828 | Mobile: 07795 958723 | Email: [craig.cockerham@centara-ltd.com](mailto:craig.cockerham@centara-ltd.com)

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**telent**  
Crompton Close  
Basildon  
Essex  
SS14 3BA  
United Kingdom

Telephone: +44 (0)800 526 015  
Facsimile: +44 (0)1268 507 569

[www.telent.com](http://www.telent.com)

Date 18/01/2011  
Our Ref LPENQ0000015387

Dear Sir/Madam

**Teliasonera Line Plant Enquiry.**

Thank you for your correspondence enclosing details of your proposals as per your reference below:

WESTHOLME ROAD DEVELOPMENT MASHAM

Our client's apparatus, Teliasonera, is not located within the vicinity of the above reference and we therefore have no further interest in this current location.

Please note that all enquiries relating to the Teliasonera line plant should be forwarded to:

By post – to, telent,  
Teliasonera line plant enquiries,  
Crompton Close,  
Basildon,  
Essex  
SS14 3BA

By email - to, [telenttelia.plantenquiries@telent.com](mailto:telenttelia.plantenquiries@telent.com)

By phone – to, 0800 526 015

Yours faithfully

Telent CCO

Basildon

## Craig Cockerham

---

**From:** UK OSP-Team [osp-team@uk.verizonbusiness.com]  
**Sent:** 18 January 2011 13:28  
**To:** Craig Cockerham  
**Subject:** RE: New Asset Enquiry - Westholme Road Development, Masham

Dear Sirs

Verizon Business is a licensed Statutory Undertaker.

We have reviewed your plans and have determined that Verizon Business (Formally known as MCI WorldCom, MFS) has no apparatus in the areas concerned.

If you have any further queries please do not hesitate to call.

Yours faithfully

**Chris Pile**

**Plant Protection Officer E.mail [osp-team@uk.verizonbusiness.com](mailto:osp-team@uk.verizonbusiness.com)**



Chris Pile  
Plant Protection Officer - OSP & Infrastructure.  
UK Field Operations  
01293 611736  
Mobile 07990 774438  
[Verizon Global Network Field Operations](http://Verizon.com)  
[www.Verizon.com](http://www.Verizon.com)

---

**From:** Craig  
Cockerham  
[\[mailto:craig.cock](mailto:craig.cock)

[erham@centara-ltd.com](mailto:erham@centara-ltd.com)]

**Sent:** 18 January 2011 11:57

**To:** [plantenquiries@jsmconstruction.com](mailto:plantenquiries@jsmconstruction.com); [osm.enquiries@atkinsglobal.com](mailto:osm.enquiries@atkinsglobal.com); [safediggingplans@ce-electricuk.com](mailto:safediggingplans@ce-electricuk.com); [nrswa@sns.bskyb.com](mailto:nrswa@sns.bskyb.com); [info@energetics-uk.com](mailto:info@energetics-uk.com); [nrswa@envoyonline.co.uk](mailto:nrswa@envoyonline.co.uk); [plant@espipelines.com](mailto:plant@espipelines.com); Fibrespan; [streetworks@gammatelecom.com](mailto:streetworks@gammatelecom.com); [genesys.noc@fluor.com](mailto:genesys.noc@fluor.com); [nrswa@gtc-uk.co.uk](mailto:nrswa@gtc-uk.co.uk); [interoute.enquiries@plancast.co.uk](mailto:interoute.enquiries@plancast.co.uk); [highwaysadmin@kcom.com](mailto:highwaysadmin@kcom.com); [plantenquiries@mcnicholas.co.uk](mailto:plantenquiries@mcnicholas.co.uk); [opburiedservicesenquiries@networkrail.co.uk](mailto:opburiedservicesenquiries@networkrail.co.uk); [plantprotection@uuplc.co.uk](mailto:plantprotection@uuplc.co.uk); [jj.kaur@serco.com](mailto:jj.kaur@serco.com); [telentelia.plantenquiries@telent.com](mailto:telentelia.plantenquiries@telent.com); UK OSP-Team

**Subject:** New Asset Enquiry - Westholme Road Development, Masham

Dear Sir / Madam,

Please could you provide copies of your All your Owned Network Assets at the location as shown in the attached plan.

The area is:

**Westholme Road Development, Masham**

**Grid Reference – 422035, 480746**

Wherever possible please could you forward any responses via email to [craig.cockerham@centara-ltd.com](mailto:craig.cockerham@centara-ltd.com) or to the address below.

Regards

# Craig Cockerham

Bureau Team Leader

Centara Ltd  
Office 1, Normanton Business Park,  
Ripley Drive,  
Normanton,  
WF6 1QT

Tel: (01924) 220726 | Fax: 05603 445828 | Mobile: 07795 958723 | Email: [craig.cockerham@centara-ltd.com](mailto:craig.cockerham@centara-ltd.com)

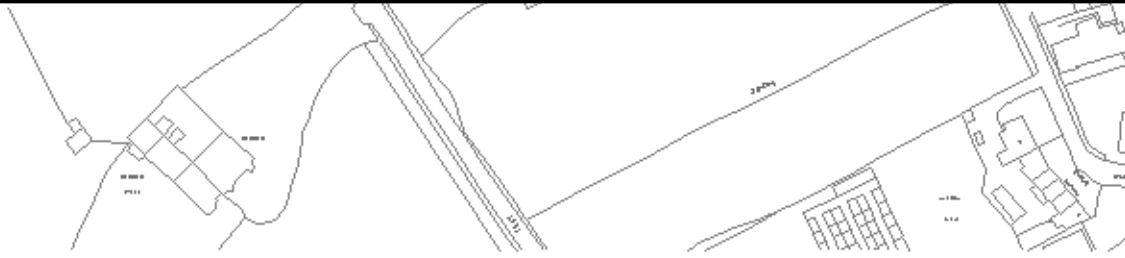
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Title:  
Westholme Road

Legend:

- Duct, Trench 
- Chamber 
- Cabinet 

Important Information - please read

The purpose of this plan is to identify Virgin Media apparatus. We have tried to make it as accurate as possible but we cannot warrant its accuracy. In addition, we caution that within Virgin Media apparatus there may be instances where mains voltage power cables have been placed inside green, rather than black ducting. Further details can be found using the 'Affected Postcodes.pdf', which can be downloaded from this website.

Therefore, you must not rely solely on this plan if you are carrying out any excavation or other works in the vicinity of Virgin Media apparatus. The actual position of any underground service must be verified by cable detection equipment, etc. and established on site before any mechanical plant is used. Accordingly, unless it is due to the negligence of Virgin Media, its employees or agents, Virgin Media will not have any liability for any omissions or inaccuracies in the plan or for any loss or damage caused or arising from the use of and/or any reliance on this plan.

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Map Centre:  
422035, 480746

Date:  
18 Jan 2011

Scale:  
1 :2500



# Appendix C

**CONSULTATION RESPONSES**

APPENDIX C-1

**YORKSHIRE WATER (POTABLE WATER)**

Mr M Wilson-Wright  
WSP Group  
3 White Rose Office Park  
Millshaw Park Lane  
Leeds  
LS11 0DL

Developer Services  
Service Delivery  
Yorkshire Water Services  
PO Box 52  
Bradford  
BD3 7YD

12 April 2017

**T 0345 1 208 482 (Option 2)**

**Opening hours: 8am-5pm**

F 01274 303046

E [wbu.servicecentre@yorkshirewater.co.uk](mailto:wbu.servicecentre@yorkshirewater.co.uk)

W [www.yorkshirewater.com/developers](http://www.yorkshirewater.com/developers)

Our Ref R465738

Your Ref

Dear Mr M Wilson-Wright

**Water Availability Assessment for a proposed new development at: Land To The West Of The Oaks (Road), Off Westholme Road, Masham, HG4 4EL**

Thank you for your recent development enquiry regarding the above site. Based on the information you have provided regarding the proposed development we have detailed below our assessment of the ability to supply water to the site.

Due to the current request of development in the area (current new developments including this one will increase the properties and water demand in the area by 30%) the network will require some upgrade in order to keep up with demand.

The network improvements are highly likely to include an upgrade of Well WPS, storage at Low Burton SRE and water mains upgrade.

Details of the proposed developments have been passed through to Asset planning to investigate and provide some costing's in order to provide a solution.

.

In the meantime if I can be of any further assistance, please contact me on the above number. When contacting us about this enquiry please quote reference number **R465738** this will enable us to find your enquiry and deal with any queries promptly.

Yours sincerely

Tracey Warr  
New Supplies Technical Co-ordinator



APPENDIX C-2

**NORTHERN POWERGRID (ELECTRICITY SUPPLY)**



**Your contact: Graham Hick**

Direct dial: 01132 274367

[graham.hick@northernpowergrid.com](mailto:graham.hick@northernpowergrid.com)

**Your Ref:**

**Enquiry number: ENQ5359159, QUO5339728**

**[www.northernpowergrid.com/get-connected](http://www.northernpowergrid.com/get-connected)**

Date: 15 February 2017

**Mr Wilson-Wright**

W.S.P.

3 White Rose Office Park

Millshaw Park Lane

Leeds

LS11 0DL

Dear Mr Wilson-wright

**BUDGET ESTIMATE FOR THE PROVISION OF AN ELECTRICITY CONNECTION AT Land West of the Oaks, Westholme Road, Masham, HG4 BY Northern Powergrid (Northeast) Limited**

Thank you for asking us to provide you with this Budget Estimate for an electricity connection at Land West of the Oaks, Westholme Road, Masham, HG4, with a development consisting of approximately 59 non electric heated dwellings and 15 No commercial units (assumed single phase services) (the "Connection").

This Budget Estimate is:

1. Calculated by making assumptions about the work we will need to do to provide the Connection, based on similar work we have carried out in the past. Those assumptions are set out in the Appendix to this letter;
2. Based on the information you have given to us;
3. Not based on a site visit or on any analysis or technical studies of our electricity distribution network; and
4. Provided for guidance purposes only in order to help you understand the likely cost of the Connection.

Consequently, this letter does not constitute an offer to provide the Connection and the information contained in it should only be used as an indication of the potential cost of the Connection.

**The Budget Estimate for the Connection**

**It is noted within your application, you have requested separate quotations for both the diversion works, and the connection works for the development. As the diversion will in part form works required to provide the connection (mainly for the commercial units) then I have provided a reasonable split in costs allocation for information purposes only. However these figures should not be taken in isolation, as the final allocation of costs may be adjusted within the detailed quotation.**

**Connection works.**

We estimate that the cost of providing the Connection will be in the region of:

|                       |                    |
|-----------------------|--------------------|
| <b>Price of works</b> | <b>£110,000.00</b> |
| <b>VAT at %</b>       | <b>£ 0.00</b>      |
| <b>Total cost</b>     | <b>£110,000.00</b> |

**NORTHERN POWERGRID**

is the trading name of Northern Powergrid (Northeast) Limited (Registered No: 2906593) and Northern Powergrid (Yorkshire) plc (Registered No: 4112320)

Registered Office: Lloyds Court, 78 Grey Street, Newcastle upon Tyne NE1 6AF. Registered in England and Wales.

If you would like an audio copy of this letter or a copy in large type, Braille or another language, please call 0800 169 7602

[www.northernpowergrid.com](http://www.northernpowergrid.com)

**Diversion works.**

|                       |                   |
|-----------------------|-------------------|
| <b>Price of works</b> | £70,000.00        |
| <b>VAT at %</b>       | £ 0.00            |
| <b>Total cost</b>     | <b>£70,000.00</b> |

I hope that this Budget Estimate meets with your requirements but, if you have any questions about the Budget Estimate or the work involved, please contact me by telephone or e-mail using the details at the top of this letter.

Yours sincerely



**Graham Hick**  
Design Engineer

**If you would like a formal Quotation...**

If, having considered this Budget Estimate, you would like us to provide you with a formal quotation for the provision of the Connection, please complete this form and return it by freepost to the below address, there is no need to affix a stamp or by e-mail to [getconnected@northernpowergrid.com](mailto:getconnected@northernpowergrid.com).

RTSJ-LHKB-LTST  
 Northern Powergrid - Network Connections  
 Alix House  
 Falcon Court  
 Preston Farm Industrial Estate  
 Stockton on Tees  
 TS18 3TU

**Please confirm the details below are correct, or provide us with any amendments you require.**

|  |                                      |
|--|--------------------------------------|
| <b>Your current details: ENQ5359159</b>                          | <b>Amendments required: (if any)</b> |
| Site Address: Land West of the Oaks, Westholme Road, Masham, HG4 | Site Address:                        |
|  |                                      |
| Date connection required:  | Date connection required:            |
| Total load required in kVA: 0.00                                 | Total load required in kVA:          |
| Type of heating:   | Type of heating:                     |

**If you have not already, please provide the following details. We require these to provide you with a formal quotation:**

- A site plan at an appropriate scale, which indicates the site boundary, the layout of any buildings and roads and, where the customer expects a substation(s) to be required, the proposed location of the substation(s). The plan should be free of unnecessary detail and be suitable for us to use in order to produce the necessary network drawing;
- A letter of authority confirming that you are acting as an agent of the person requiring the Connection, if you are not that person;
- The maximum capacity (kVA) at each metering point to be connected (for domestic premises we may require a description of the premises and whether electric space and water heating is to be installed); and
- Technical details of any electricity generator that is required to operate in parallel with our network and of any customer-owned equipment that is likely to cause disturbance to the network (i.e. large motors, welders etc.).

| Motor Details | Rating kW/HP | Voltage | Starting Current (Amps) | Means of starting           | Will it start more than once every 2 hours |
|---------------|--------------|---------|-------------------------|-----------------------------|--|
| 1             |              |         |                         | Star Delta/ DOL/ Soft Start |  |
| 2             |              |         |                         | Star Delta/ DOL/ Soft Start |  |

| Welder Details | Input rating of largest welder | Total number of welders | Total input welding load |
|----------------|--------------------------------|-------------------------|--------------------------|
|                |                                |                         |                          |

**Name:**

**Signed:**



Once we have processed your request we will send you a quotation setting out the cost with terms and conditions of contract for the provision of the Connection. Please note, however, that you may find that, once we have fully designed the Connection, the cost may differ from that provided in this Budget Estimate.

### **Timescales**

If you accept the quotation we provide to you, provision of the Connection will be subject to completion of all necessary consents, associated works and conditions precedent. We currently estimate that provision of the Connection may take approximately 6 - 9 months to complete.

### **Competition in Connections**

We actively promote competition in connections, are committed to maintaining an environment in which independent connections providers (“ICPs”) can compete freely and fairly to undertake contestable works and are working collaboratively with ICPs to extend contestability further. You can find out more about accredited ICPs by visiting the Lloyd’s Register National Electricity Registration Scheme website.

### **Northern Powergrid Records**

If you need copies of our network records, you can obtain them by contacting us as follows:

Northern Powergrid  
Records Information Centre  
New York Road  
Shiremoor  
Newcastle upon Tyne  
NE27 0LP

Tel: 0191 229 4294 or 0191 229 4296

E-mail: [safediggingplans@northernpowergrid.com](mailto:safediggingplans@northernpowergrid.com)

## **Providing the Connection**

It would appear Northern Powergrid presently maintains High & Low Voltage overhead and underground apparatus crossing the site.

It will not be possible to maintain this apparatus in situ and therefore diversion works will be required.

I have at this stage based the following on several assumptions which may require further investigation or confirmation prior to the issue of any detailed quotation.

Under the budget proposals it is proposed to divert the existing High Voltage network around the development with an alternative High Voltage overhead line. As I have assumed there may be issues with insufficient cover in the bridge on Foxholme Lane (Swinney Beck Bridge) to install equipment at recommended depths, I have proposed to extend a section of the diverted overhead network North and establish a new pole mounted substation.

The substation will be utilised for the removal of the Low Voltage overhead network crossing the northern end of the site and the provision of the commercial supplies.

To remove the remaining High Voltage overhead/underground network and a section of Low Voltage underground cable, it is proposed to extend a High Voltage overhead network around the south of the development. It will also be necessary to install approximately 350m of High Voltage underground High Voltage cable within a suitable footpath in "The Oaks".

Low Voltage supplies for the domestic supplies will be provided by modifying Northern Powergrid's existing substation on Westholme Road, and extending a Low Voltage mains cable into the development, from which low voltage services will be installed to each dwelling.

When calculating the Budget Estimate, I have assumed that:

- We will not need to reinforce the local electricity network or carry out associated Works that may be required to provide you with the load you have requested.
- Sufficient spare capacity exists within the local network.
- We can obtain wayleaves and any other statutory consent for the cable route. If we need to obtain any wayleaves or consents from any third parties, there will be no charge or conditions imposed upon us.
- You will carry out all excavations on site.
- We can provide the Connection along the most direct and economical route and there are no abnormal ground conditions along that route.
- The Work will be carried out during normal working hours of 9am to 5pm between Monday and Friday.
- There are no disturbing loads, e.g. motors, welders.
- Any generation that you install complies with the associated Engineering Recommendations.
- Any equipment that you install which produces harmonics complies with the associated Engineering Recommendation.
- Any equipment you install that is classed as 'disturbing' complies with the associated Engineering Recommendation.

Scott, Chris

---

From: Hick, Graham <Graham.Hick@northernpowergrid.com>  
Sent: 15 February 2017 16:52  
To: Wilson-Wright, Matthew  
Subject: ENQ5359159 - Masham - Land at Westholme Road.  
Attachments: Budget letter.pdf

Dear Matthew,

Please find attached the budget estimate for the proposed connection and diversion works required for the above development. It was noted within your application you had requested separate quotations for the new connection, diversion and reinforcement works.

Hopefully the letter should provide further detail, however due to the work required to provide the connection it has in part been necessary to amalgamate some of the diversion works into the connection works. I have tried to provide a reasonable interpretation of the split of costs, but as indicated in the letter these should not be taken in isolation.

It appears there will be no major off site reinforcement works outside of the works required for the diversion or connections direct to site.

I hope the budget estimate meets with your present requirements, but please do not hesitate to contact me directly should you require any further information.

Kind regards

Graham Hick  
Design Engineer

Office: 01132 274367  
Mobex: 716 3085  
[graham.hick@northernpowergrid.com](mailto:graham.hick@northernpowergrid.com)  
[www.northernpowergrid.com](http://www.northernpowergrid.com)



\*\*\*\*\*

**E mail Disclaimer**

You agree that you have read and understood this disclaimer and you agree to be bound by its terms. The information contained in this e-mail and any files transmitted with it (if any) are confidential and intended for the addressee only. If you have received this e-mail in error please notify the originator. This e-mail and any attachments have been scanned for certain viruses prior to sending but Northern Powergrid Holdings Company nor any of its associated companies from whom this e-mail originates shall be liable for any losses as a result of any viruses being passed on. No warranty of any kind is given in respect of any information contained in this e-mail and you should be aware that it might be incomplete, out of date or incorrect. It is therefore essential that you verify all such

information with us before placing any reliance upon it.

Northern Powergrid Holdings Company

Lloyds Court

78 Grey Street

Newcastle upon Tyne

NE1 6AF

Registered in England and Wales: Number 3476201

\*\*\*\*\*

APPENDIX C-3

**NORTHERN GAS NETWORK (GAS SUPPLY)**




#### Northern Gas Networks

1st Floor  
1 Emperor Way  
Doxford International Business Park  
Sunderland  
SR3 3XR  
Phone:0800 040 7766

**Mr Matthew Wilson-Wright**  
**W S P GROUP LTD**  
**3**  
**White Rose Office Park**  
**Millshaw Park Lane**  
**Leeds**  
**LS11 0DL**

 @NGNgas

 Find us on Facebook

**Work Request Number - 2000056607**

**Your Reference -**

**24.03.2017**

Dear Mr Matthew Wilson-Wright,

I am pleased to enclose the budget indication you requested for the the proposed works at : Land West of the Oaks, Westholme Road, Masham, Ripon, HG4 4EL

#### **Description of works:**

Lay approx 141m x 125mm/90mm LP PE main to feed 15 x 32mm LP PE commercial services all terminating internally. Lay approx 449m x 125mm/90mm/63mm LP PE main to feed 20 x 32mm LP PE domestic services terminating within semi concealed meter boxes. All services assumed to be less than 20m is length. Northern Gas Networks to excavate, backfill and reinstate both the public and private land. Northern Gas Networks do not supply or fit gas meters, Customer to arrange for the installation of 75 x U6 gas meterS and all outlet pipe work. This budget quote does not include any meter work or internal pipe work. **CONDITION OF BUDGET QUOTE:** Building work must have commenced on the commercial units to allow a survey to be completed prior to a firm quote being offered.

**The cost indication is £ 105461.08 (excl VAT)** and this does not represent an offer to carry out the works. Should you request a firm quotation, the cost may differ significantly from this budget indication. As a guide, the price is deemed to be accurate within +/- 10%.

You may choose to request an alternative quotation from other Gas Transporters or Utility Infrastructure providers (UIP's) who provide this type of work. A list of Gas Transporters can be found on the Ofgem website and you can obtain a list of UIP's from the Gas Industry Registration Scheme website at [www.lr.org](http://www.lr.org) and search 'Gas transporters'.

If you have any queries in the meantime or if you require a firm quotation, please contact us on 0800 040 7766 or email [gasconnections@northerngas.co.uk](mailto:gasconnections@northerngas.co.uk) and we will be happy to help.

Yours Sincerely



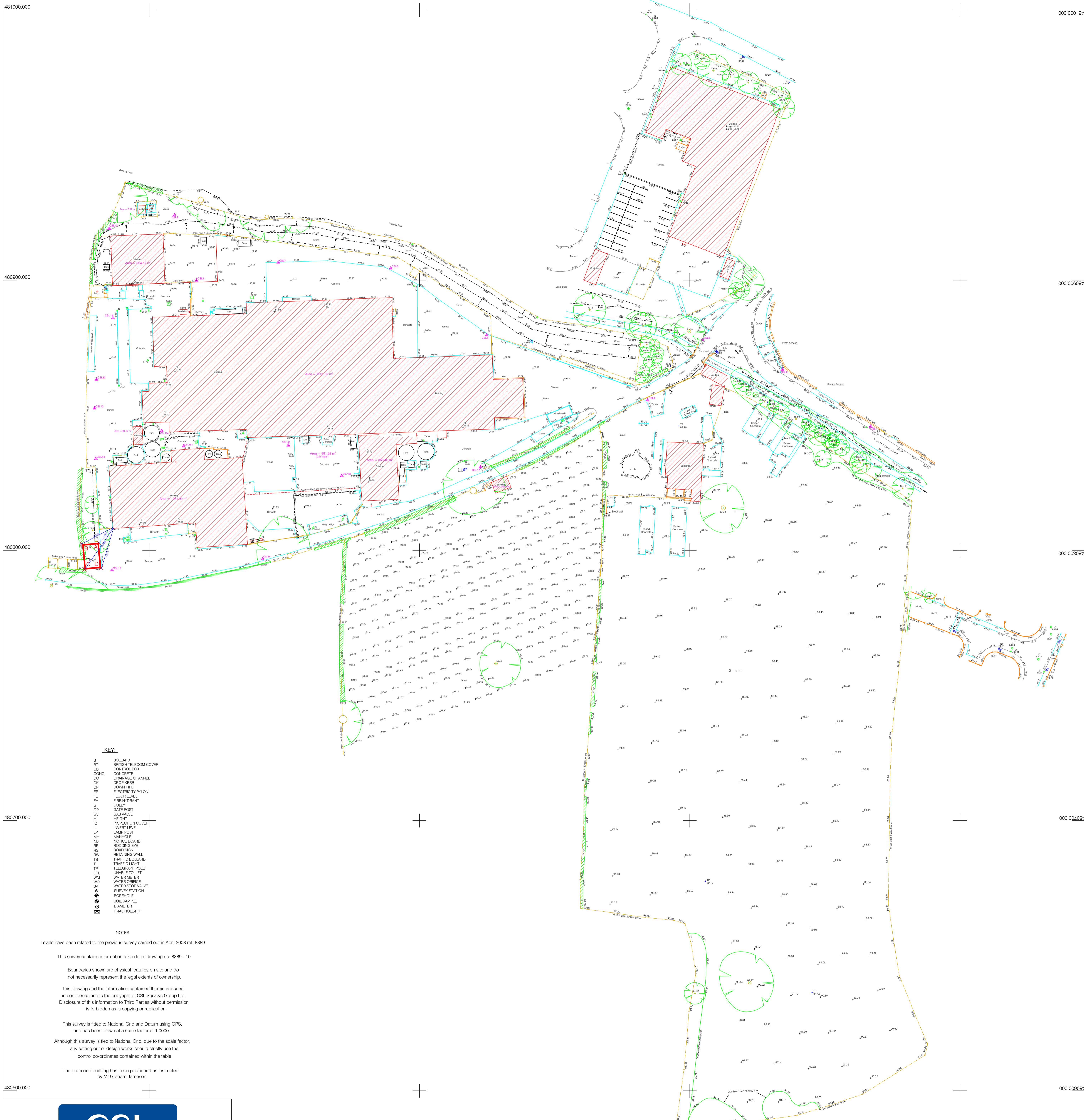
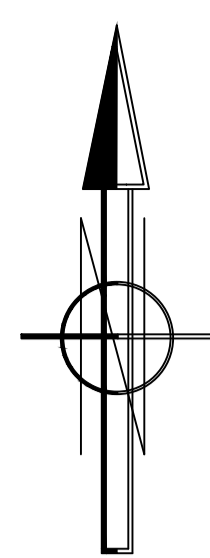
John Peacock  
Head of Connections  
Northern Gas Networks



# Appendix D

2016 TOPOGRAPHIC SURVEY BY CSL SURVEY





**KEY**

- B BOLLARD
- BT BRITISH TELECOM COVER
- CB CONTROL BOX
- CC CONC
- DC DRAINAGE CHANNEL
- DK DOWN PIPE
- EP ELECTRICITY Pylon
- FL FLOOR LEVEL
- FI FIRE HYDRANT
- G GULLY
- GP GATE POST
- GV GAS VALVE
- H HEIGHT
- IC INSPECTION COVER
- IL INVERT LEVEL
- LP LAMP POST
- MH MANHOLE
- NB NOTICE BOARD
- NE NEODROME EYE
- RS ROAD SIGN
- RW RETAINING WALL
- TB TRAFFIC BOLLARD
- TL TRAFFIC LIGHT
- TP TELEGRAPH POLE
- UL UNABLE TO LIFT
- WM WATER METER
- WO WATER CHARGE
- SV WATER STOP VALVE
- ST SURVEY STATION
- SP SOIL SAMPLE
- DI DIAMETER
- TH TRIAL HOLE/PIST

**NOTES**

Levels have been related to the previous survey carried out in April 2008 ref: 8389

This survey contains information taken from drawing no. 8389 - 10

Boundaries shown are physical features on site and do not necessarily represent the legal extents of ownership.

This drawing and the information contained therein is issued in confidence and is the copyright of CSL Surveys Group Ltd. Disclosure of this information to Third Parties without permission is forbidden as is copying or replication.

This survey is fitted to National Grid and Datum using GPS, and has been drawn at a scale factor of 1:10000.

Although this survey is tied to National Grid, due to the scale factor, any setting out or design works should strictly use the control co-ordinates contained within the table.

The proposed building has been positioned as instructed by Mr Graham Jameson.



**CONSULTING SURVEYORS  
LAND-ENGINEERING-BUILDING**

18B THORNER LANE • SCARFCROFT • LEEDS  
TEL 01152 893924 • TEL 07739 753 651  
EMAIL INFO@CSLSURVEYS.CO.UK • WWW.CSLSURVEYS.CO.UK

|  |  |                   |              |                     |
|--|--|-------------------|--------------|---------------------|
| <b>TITLE</b>   |  |                   |              |                     |
| Topographical Survey<br>Foxholme Lane Mill<br>Masham |  |                   |              |                     |
| <b>CLIENT</b>  |  |                   |              |                     |
| W E Jameson & Son Limited                            |  |                   |              |                     |
| <b>DATE</b>  | June 2016                              | <b>DRAWN BY</b>   | SA           | <b>CHKD. BY</b> ACA |
| <b>DRG NO</b>  | 8985 - 01D                             | <b>PLOT SCALE</b> | 1 : 500 @ A0 |                     |
| <b>REV</b>   | <b>AMENDMENT</b>                       | <b>DATE</b>       | <b>BY</b>    | <b>CHKD.</b>        |
| A  | Proposed building position added.      | 13/12/12          | SA           | ACA                 |
| B  | Dimensions added.                      | 13/12/12          | SA           | ACA                 |
| C  | Building areas added.                  | 05/03/15          | SA           | ACA                 |
| D  | Neighbouring land & access road added. | 20/06/16          | SA           | ACA                 |

| Station | Easting    | Northing   | Level  |
|---------|------------|------------|--------|
| CSL3    | 422004.746 | 480877.946 | 89.758 |
| CSL4    | 421984.432 | 480855.589 | 89.393 |
| CSL5    | 421924.876 | 480879.628 | 90.301 |
| CSL6    | 421889.378 | 480884.411 | 90.654 |
| CSL7    | 421847.758 | 480906.550 | 90.956 |
| CSL8    | 421817.488 | 480889.907 | 90.836 |
| CSL9    | 421809.420 | 480924.094 | 91.240 |
| CSL10   | 421785.203 | 480919.091 | 91.636 |
| CSL11   | 421786.581 | 480885.979 | 90.995 |
| CSL12   | 421780.510 | 480863.245 | 91.194 |
| CSL13   | 421779.244 | 480862.582 | 91.526 |
| CSL14   | 421780.249 | 480833.898 | 91.222 |
| CSL15   | 421786.244 | 480792.685 | 91.636 |
| CSL16   | 421841.970 | 480796.789 | 91.309 |
| CSL17   | 421922.606 | 480830.898 | 90.186 |
| CSL161  | 421871.248 | 480827.591 | 90.611 |
| CSL162  | 421851.465 | 480838.844 | 90.529 |
| CSL163  | 421812.747 | 480838.589 | 91.213 |
| CSL164  | 421804.616 | 480844.224 | 91.029 |













# Appendix E

**UTILITY RECORD PLANS**







APPENDIX E-1

**YORKSHIRE WATER (POTABLE WATER)**


## Sewer Legend

|   |                               |  |                             |
|---|-------------------------------|--|-----------------------------|
|    | Combined Sewer                |    | S24 Combined Sewer          |
|    | Surface Water Sewer           |    | S24 Surface Water Sewer     |
|    | Foul Sewer                    |    | S24 Foul Sewer              |
|    | Section 104 Sewer             |    | Public Rising Main          |
|   | Pumping Station               |    | Abandoned Sewer             |
|  | Public Sewage Treatment Works |  | Syphon Sewer & Vacuum Sewer |
| <b>+</b>  |                               |  | Property Identifier         |

## Water Legend

|   |                         |
|---|-------------------------|
|  | Water Main 4" and below |
|  | Water Main 4" and above |
|  | Raw Water Main          |
|  | Private Water Main      |
|  | Fire Hydrant            |
|  | Pumping Station         |



|   |  |   |   |
|---|--|---|---|
| 421885 : 480515   | Map Name : SE2180SE  | Title   |   |
|  <p>Yorkshire Water,<br/>PO Box 500,<br/>Halifax Road,<br/>Bradford BD6 2LZ<br/>Contact Name :<br/>Dobson<br/>Contact Tel :</p> | <p>Yorkshire Water,<br/>PO Box 500,<br/>Halifax Road,<br/>Bradford BD6 2LZ<br/>Contact Name :<br/>Dobson<br/>Contact Tel :</p> | Notes   |   |
|   |  | <p><b>Partial Key</b><br/>Water mains up to 4" in diameter <span style="color: red;">—</span><br/>Water mains over 4" in diameter <span style="color: blue;">—</span><br/>Raw water mains <span style="color: green;">—</span><br/>Private water mains <span style="color: brown;">—</span></p> | <p>The position and depths of apparatus shown on this plan are approximate only. The exact positions and depths should be obtained by excavation trial holes.</p> <p>Scale : 1:1250</p> |
| Drg No :  |  | Date Req : 09/02/2017, 13:53:25   | Maris No :  |
| Date Gen : 09/02/2017, 13:53:36   |  | Date Gen : 09/02/2017, 13:53:36   |   |
| Source : Water Network Enquiry  |  |   |   |

APPENDIX E-2

**NORTHERN POWERGRID (ELECTRICITY SUPPLY)**



If telephoning or calling please ask for:

Caroline Latip  
0191 2294296

Our Ref: 17/405445

Your Ref: CEN6741

Date: 07 February 2017

Gill Paterson  
Centara Bureau Services Ltd  
Office 10 Normanton Business Park  
Ripley Drive  
Normanton,  
West Yorkshire  
WF6 1QT

Dear Sir/Madam

REQUEST FOR RECORDS SHOWING LOCATION OF APPARATUS at:

Westholme Road, Masham, Ripon, HG4 4DT

Thank you for your enquiry dated 01/02/2017 concerning the above. The enclosed Mains Records only give the approximate location of known Northern Powergrid apparatus in the area. Great care is therefore needed and all cables and overhead lines must be assumed to be live.

Please note that while all efforts are made to ensure the accuracy of the data, no guarantee can be given. We would refer you to the Health & Safety Executive's publication HS(G)47 "Avoiding Danger From Underground Services" which emphasises that:

\* Plans must only be used as a guide in the location of underground cables. The use of a suitable cable-tracing device is essential and careful hand digging of trial holes must be carried out to positively identify and mark the exact route of the cable. You should also bear in mind that a cable is unmistakably located only when it has been safely exposed.

\* Cable depths are not generally indicated on our records and can vary considerably even when shown.

\* Great caution must be exercised at all times when using mechanical plant. Careful trial digging should always be carried out on the whole route of the planned excavation to ascertain no cables exist.

The Health & Safety Executive have another publication, GS6 "Avoidance of Danger from Overhead Electric Lines" that you should be aware of if your work is near overhead power lines. Both of these documents provide comprehensive guidance for observance of statutory duties under the Electricity at Work Regulations 1989 and the Health & Safety at Work Act 1974. Our provision of these records is based upon the assumption that people using them will have sufficient competence to interpret the information given. Any damage or injury caused will be the responsibility of the organisation concerned who will be charged for any repairs.

Please note ground cover must not be altered either above our cables or below overhead lines, in addition no trees should be planted within 3 metres of existing underground cables or 10 metres of overhead lines. All our apparatus is legally covered by a wayleaves agreement, lease or deed or alternatively protected under the Electricity Act 1989. Should any alteration / diversion of our Company's apparatus be necessary to allow your work to be carried out, budget costs can be provided by writing to Network Connections, Northumbria Works, Mill Street East, Dewsbury. WF12 9AH.

Yours faithfully

I. Foster.

Northern Powergrid Records Information Centre

Northern Powergrid Mains Records enclosed:

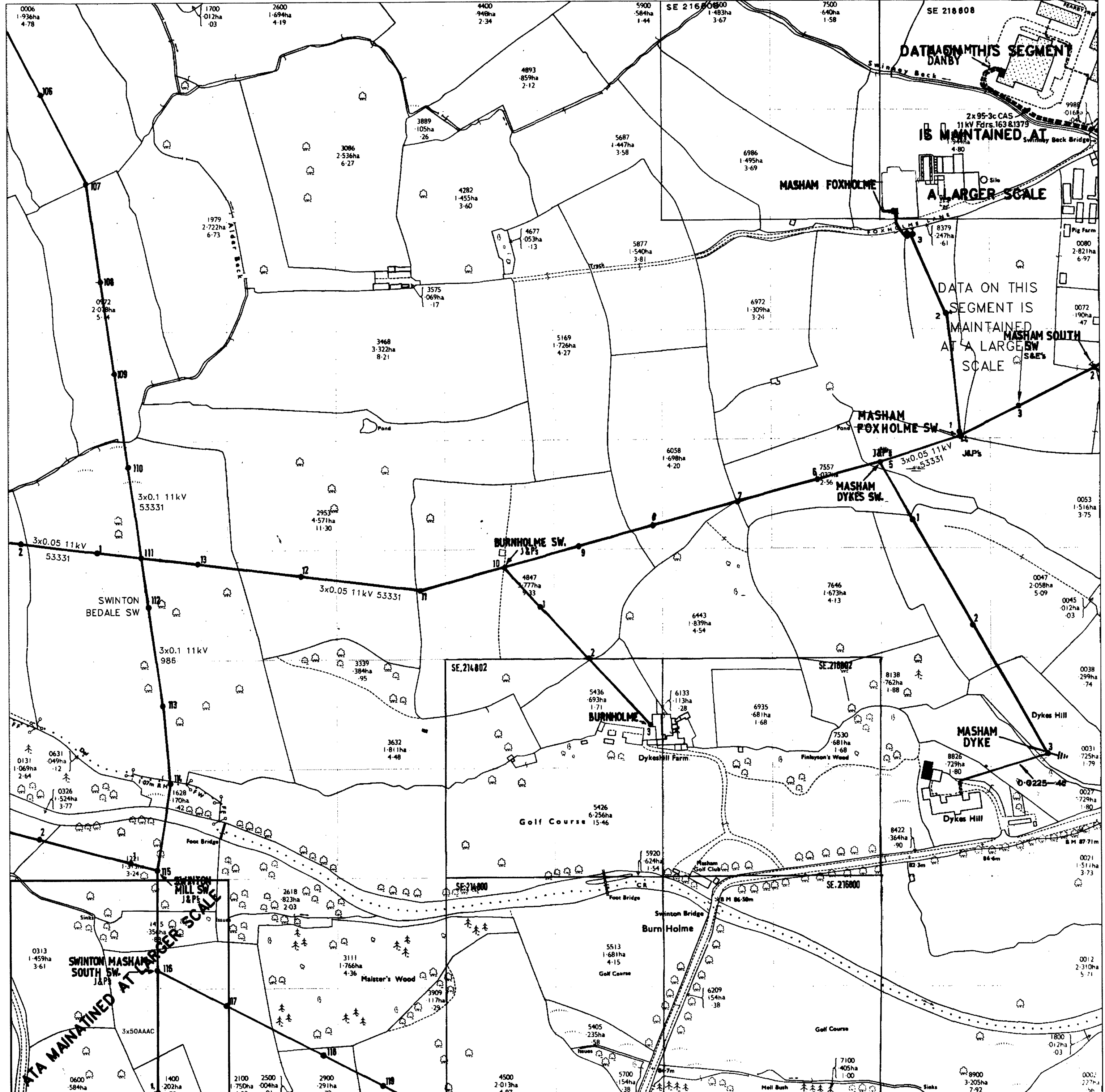
SE220806.TIF SE220806.001 SE220808.TIF SE220808.001 SE218808.TIF SE218808.001 SE218806.TIF SE220804.TIF SE220804.001  
SE2180.TIF SE2180.001

#### NORTHERN POWERGRID

is the trading name of Northern Powergrid (Northeast) Limited (Registered No: 2906593) and Northern Powergrid (Yorkshire) plc (Registered No: 4112320)  
Registered Office: Loyds Court, 78 Grey Street, Newcastle upon Tyne NE1 6AF. Registered in England and Wales.

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[www.northernpowergrid.com](http://www.northernpowergrid.com)



Scale: 1:2500  
 Map: SE2180.TIF  
 Date: 07 Feb 2017



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ELECTRIC CABLES AND/OR OVERHEAD LINE INFORMATION SHOWN ON THE RECORD PLANS ARE TO BE USED IN ACCORDANCE WITH THE HEALTH & SAFETY EXECUTIVE'S BOOKLET HS(G)47, "AVOIDING DANGER FROM UNDERGROUND SERVICES", AND GUIDANCE NOTE GS 6, "AVOIDANCE OF DANGER FROM OVERHEAD ELECTRIC LINES". RECORD PLANS DO NOT ALWAYS SHOW OUT OF COMMISSION CABLES OR SERVICE CABLES FROM NORTHERN POWERGRID'S MAINS TO ADJOINING OR CROSS ROAD PROPERTIES. PLANS DO NOT SHOW LOCAL AUTHORITY OWNED PUBLIC LIGHTING OR SIGN CABLES. THE INFORMATION IS PROVIDED AS A SERVICE BY NORTHERN POWERGRID AND DOES NOT IMPART ANY LEGAL OBLIGATION ON THEIR PART. PERSONS USING IT ARE REMINDED OF THEIR RESPONSIBILITY TO EXECUTE WORKS SAFELY TO AVOID DAMAGING NORTHERN POWERGRID'S APPARATUS. FURTHER ADVICE OR ASSISTANCE IS AVAILABLE FROM THE RECORDS INFORMATION CENTRE ON 0191 2294296. IN AN EMERGENCY OR OUTSIDE NORMAL WORKING HOURS CONTACT OUR CUSTOMER INFORMATION CENTRE ON 0800 868877. CABLE DEPTHS SHOWN WERE CORRECT AT THE TIME CABLES WERE LAID HOWEVER ALTERATIONS TO GROUND LEVELS OR CABLE DISPOSITION MAY HAVE TAKEN PLACE

**Dig Safely**  
 1. Use Plans  
 2. Use Cable Locator  
 3. Hand Dig To Confirm



REVISED  
30.4.85

NORTH YORKS HARROGATE      SCALE      FACING DETAIL SHEET 1      SE 2180

F. SH. 1, SE. 2180

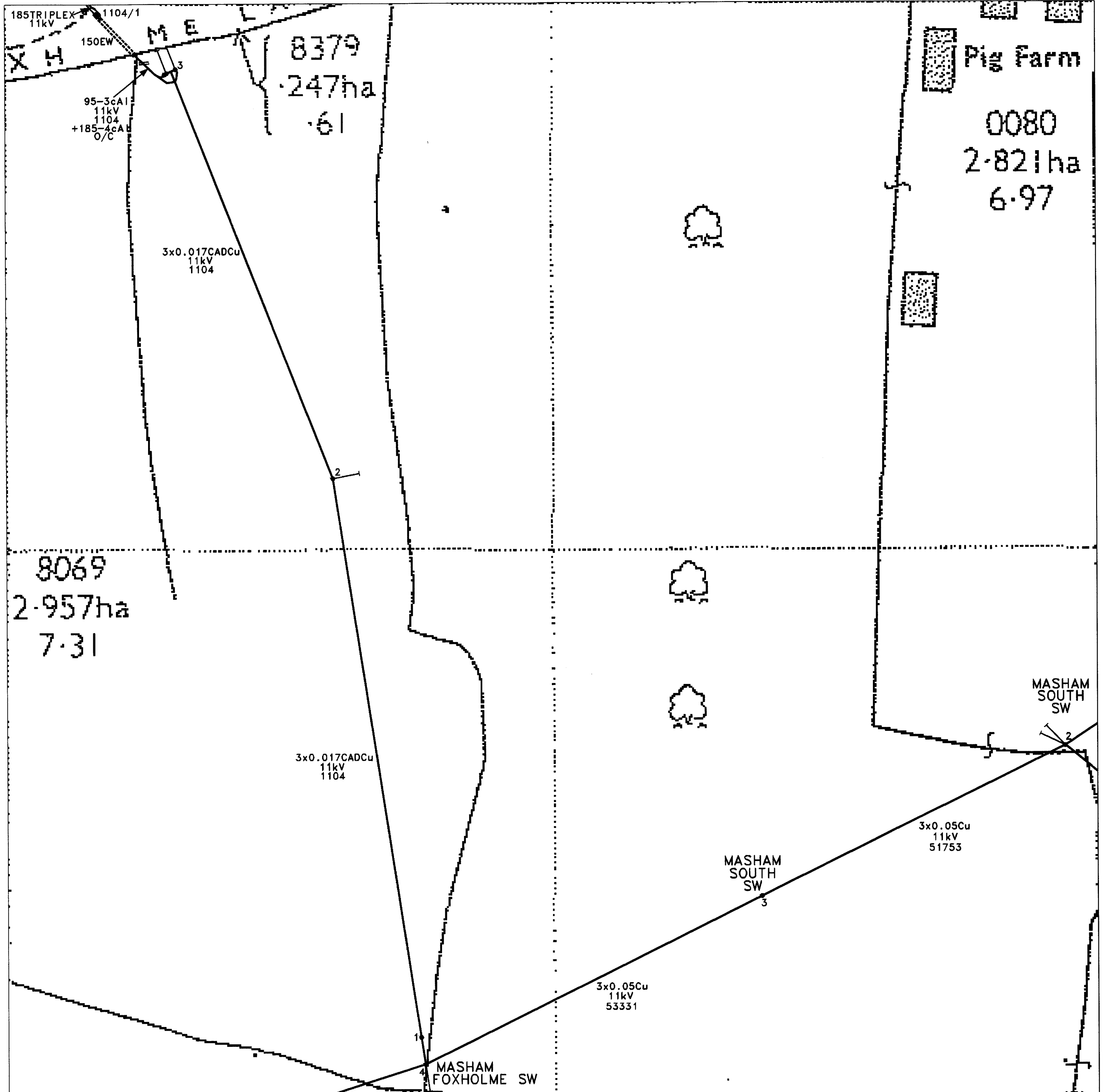
Scale: 1:2500  
Map: SE2180.001  
Date: 07 Feb 2017



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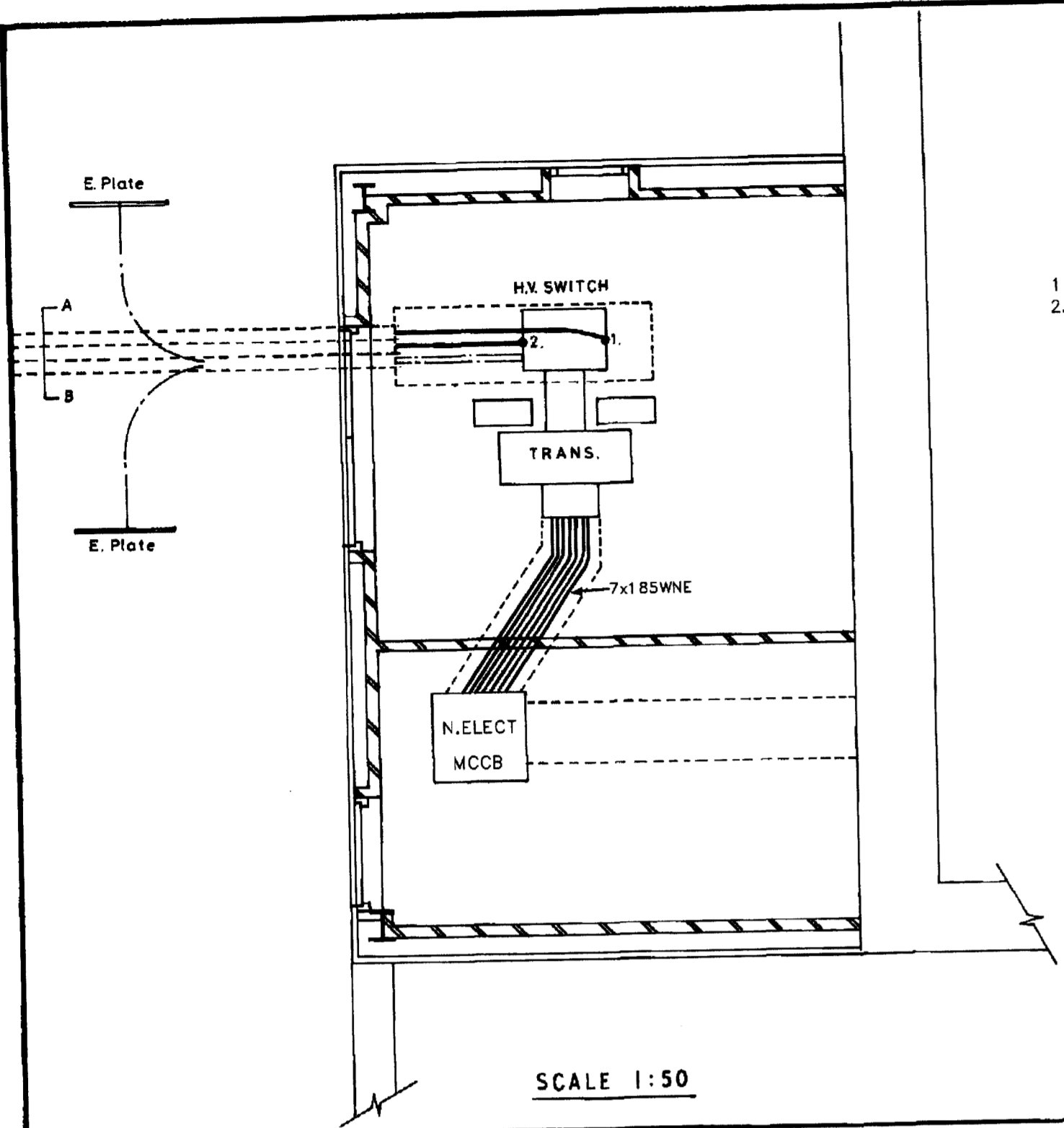
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 Date: 07 Feb 2017

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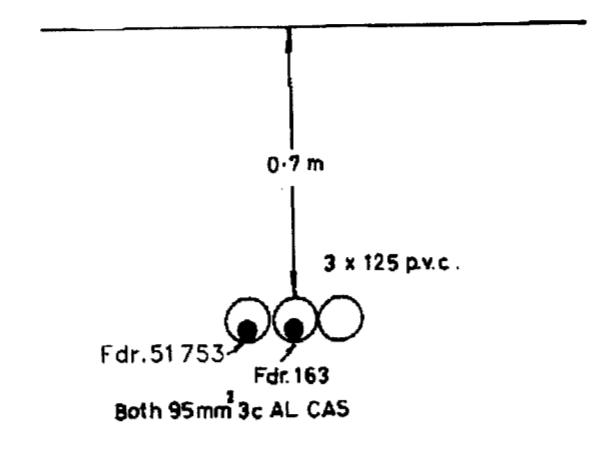
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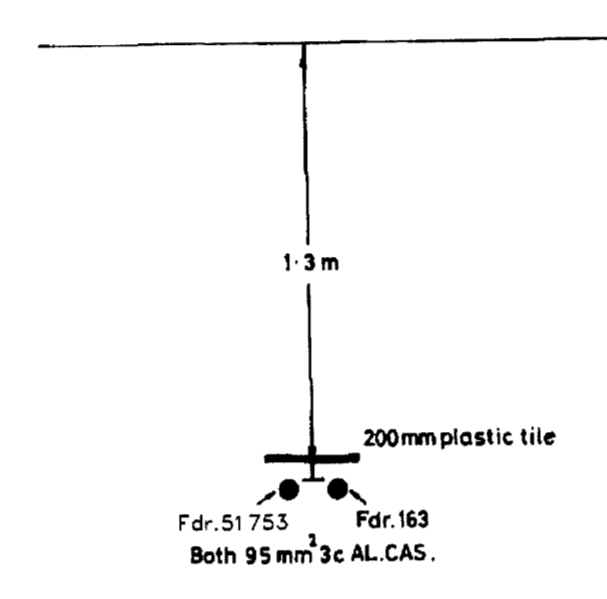
25-10-91  
REVISED



**MASHAM DANBY S.S.**  
 11 kV E. BOXES  
 1. MASHAM SOUTH SW-MASHAM DANBY 95-3c CAS Fdr.51753  
 2. MASHAM WESTHOLME S/S 95-3c CAS Fdr.163  
 Jointed 14-10-91



A - B



A - C

NORTH YORKSHIRE DISTRICT. SCALE: 1/20 HARROGATE FACING DETAIL SHEET NO: 1 SE 218808

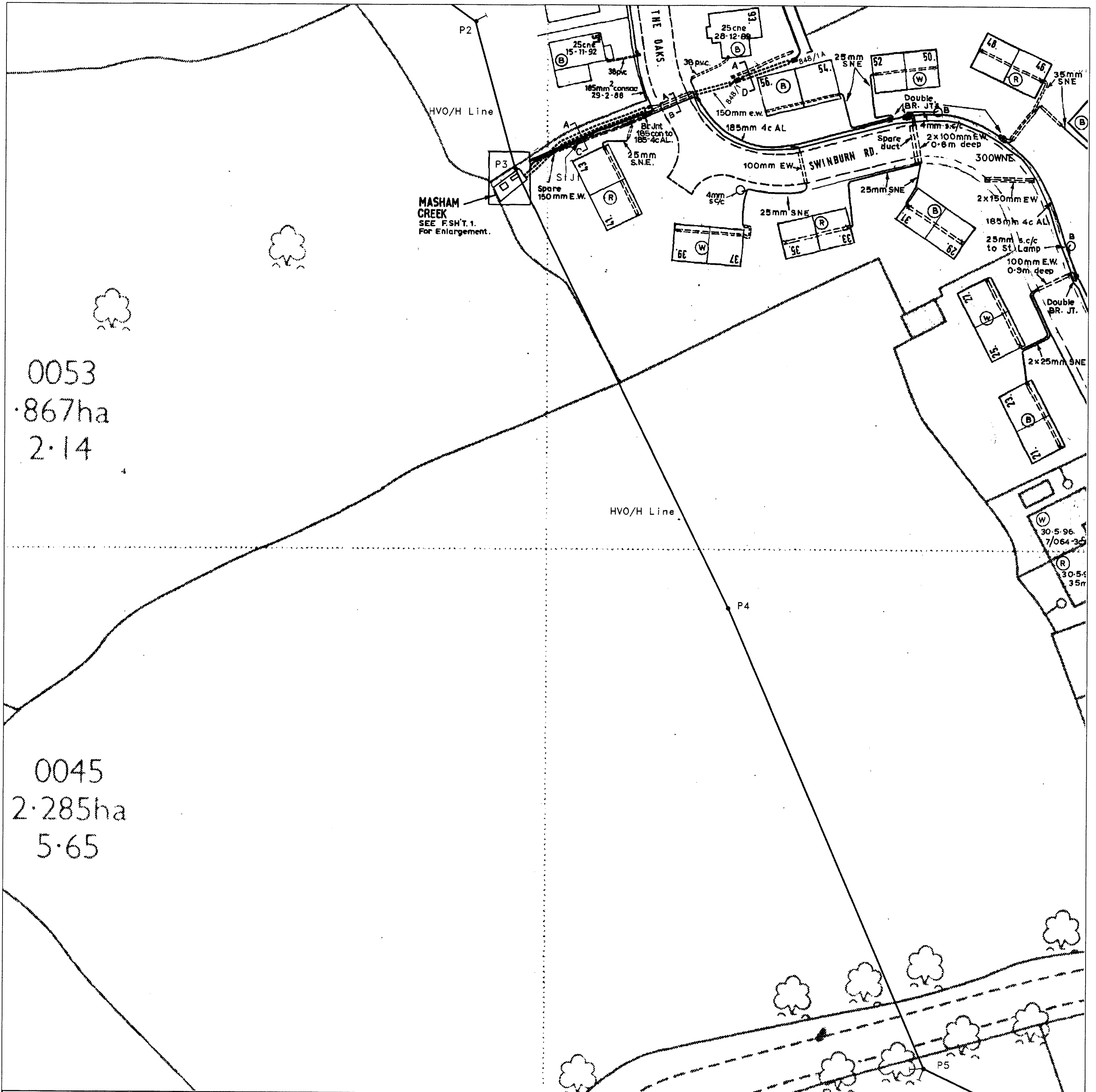
E. SHT. 1 TO SE 218808.

Scale: 1:500  
 Map: SE218808.001  
 Date: 07 Feb 2017

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0053  
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0045  
2.285ha  
5.65

Scale: 1:500  
Map: SE220804.TIF  
Date: 07 Feb 2017

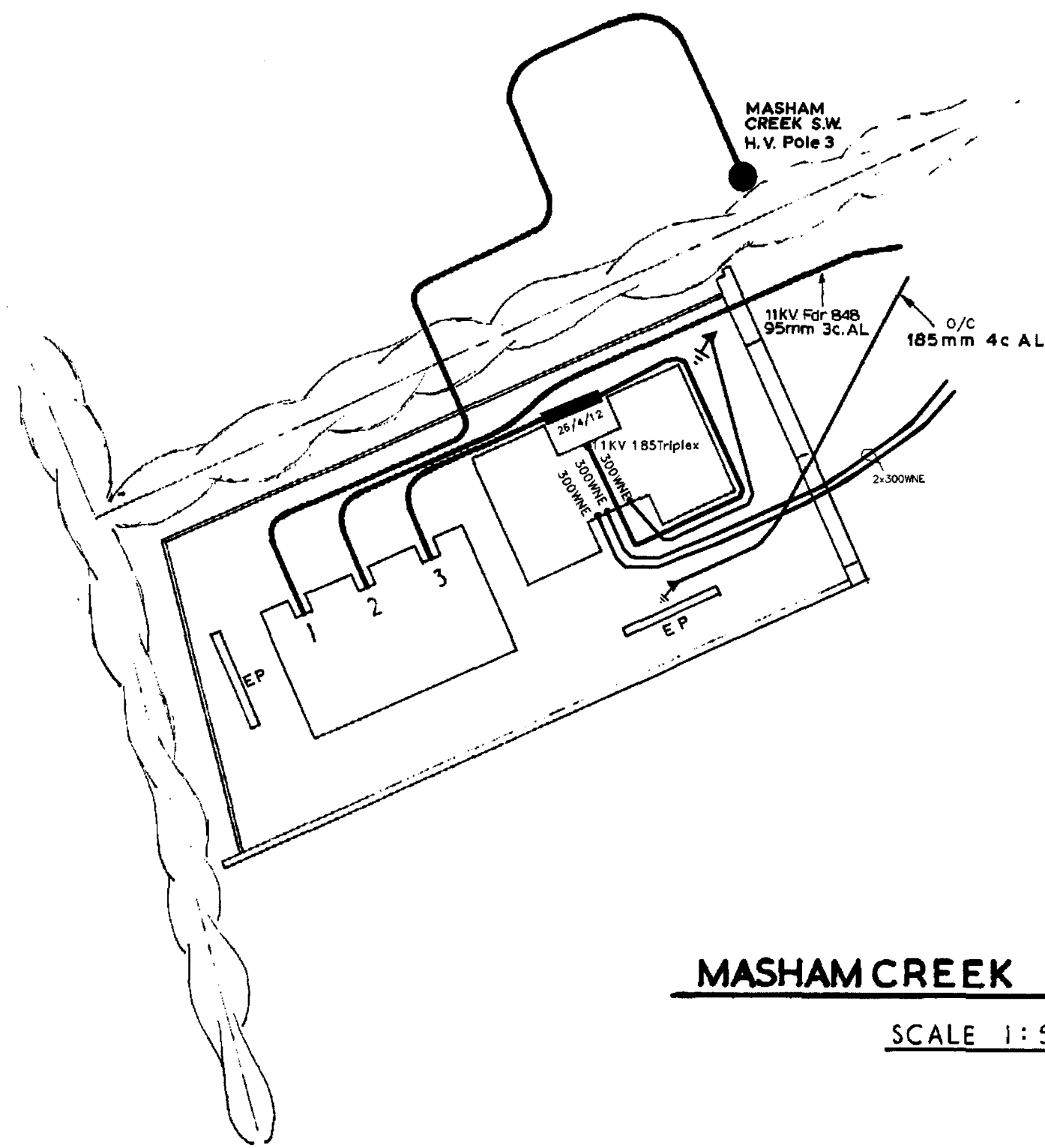


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REVISED  
12-5-80  
20-2-81  
27-7-94

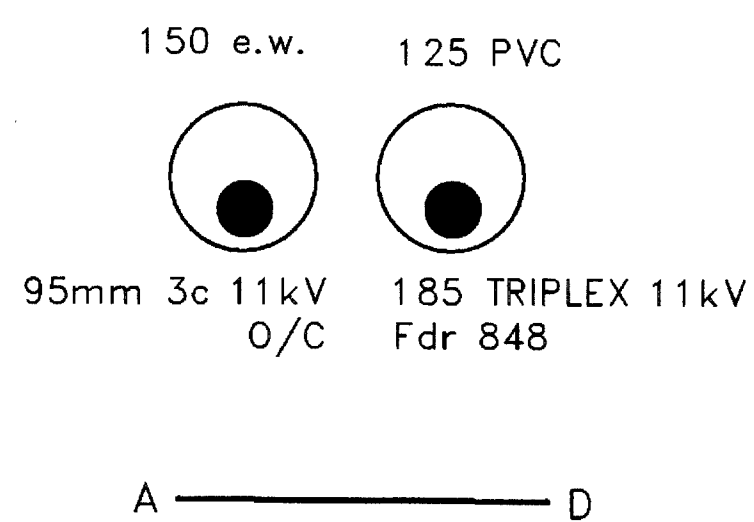
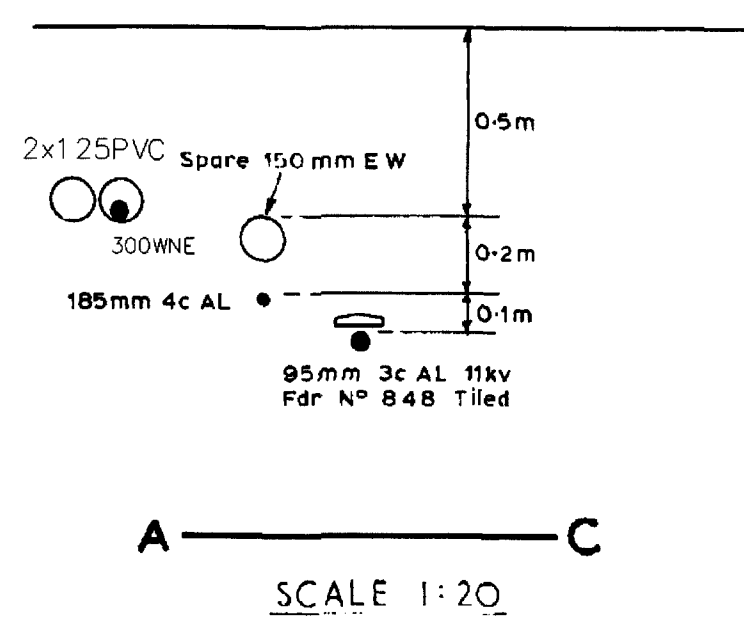
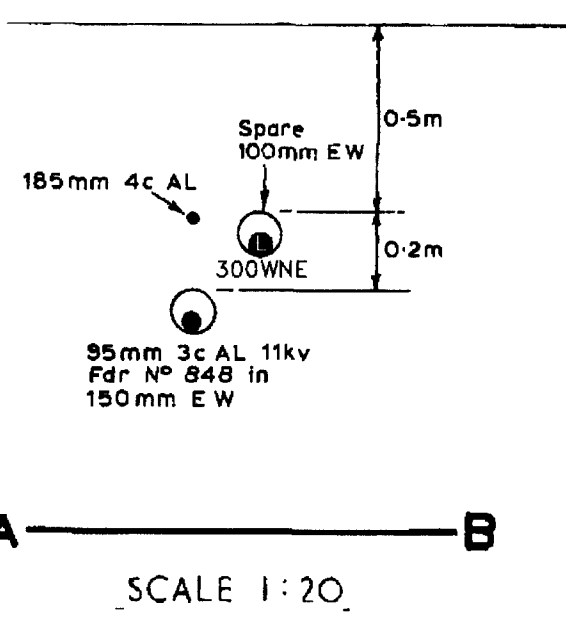


11KV END BOXES

| MASHAM CREEK SW.  |     | R    | W  | B  |   |   |   |         |           |             |
|-------------------|-----|------|----|----|---|---|---|---------|-----------|-------------|
| 1. H.V. POLE      | 3   | 95mm | 3c | AL | 3 | 1 | 2 | 3-10-78 | D. NELSON | Fdr 1296 /3 |
| 2. MASHAM CHAPMAN | S/S | 95mm | 3c | AL | 1 | 2 | 3 | 4-10-78 | "         | Fdr 848     |
| 3. TRANSFORMER    |     | 95mm | 3c | AL | 3 | 2 | 1 | 27-7-78 | "         |             |

MASHAM CREEK S.S., MASHAM

SCALE 1:50



NORTH YORKS

FACING DETAIL SHEET I. TO SE 220804

F SHT 1 SE 220804

Scale: 1:500  
Map: SE220804.001  
Date: 07 Feb 2017

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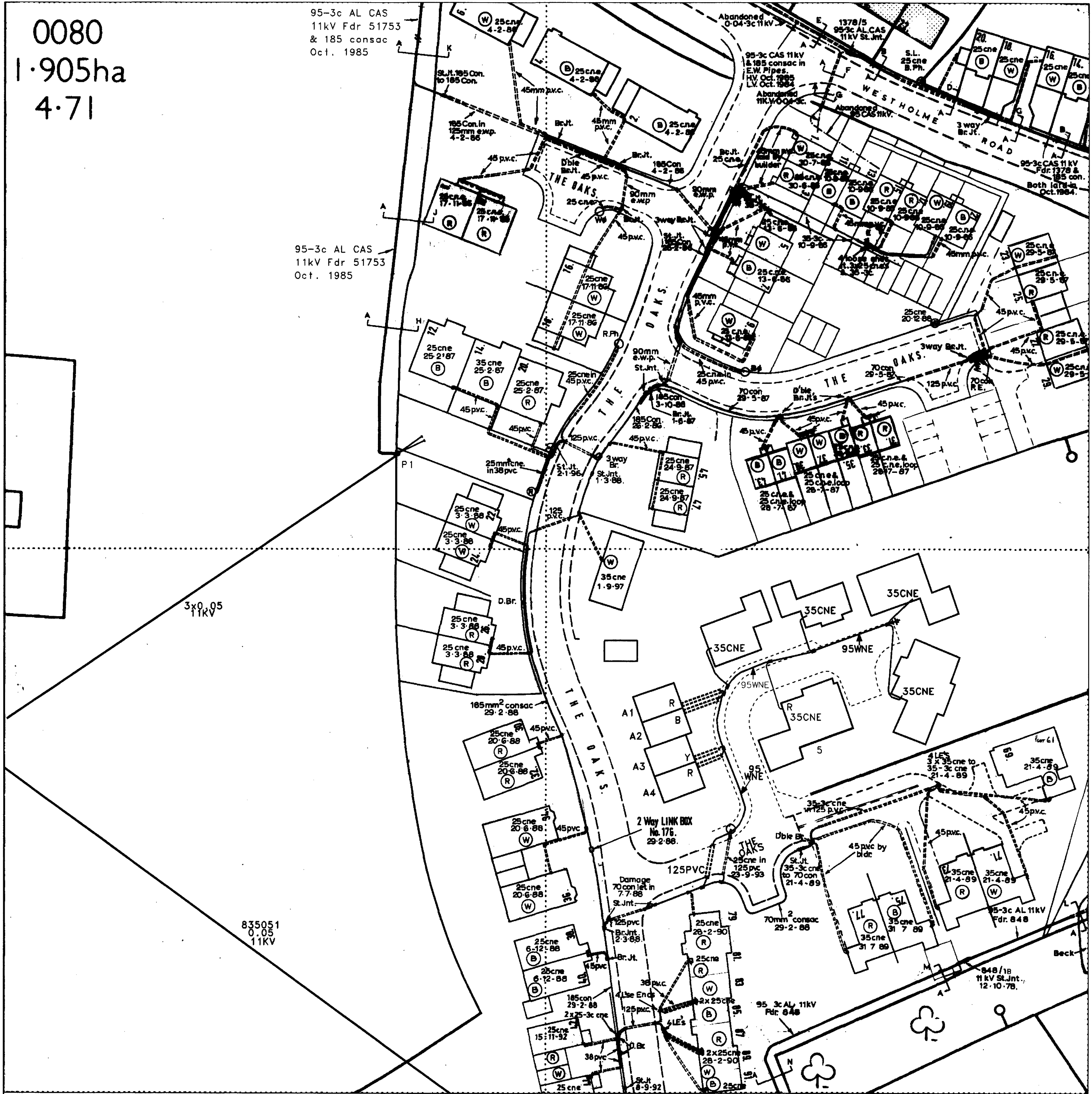
0080  
1.905ha  
4.71

95-3c AL CAS  
11kV Fdr 51753  
& 185 consac  
Oct. 1985

95-3c AL CAS  
11kV Fdr 51753  
Oct. 1985

3x0.05  
11KV

835051  
0.05  
11KV



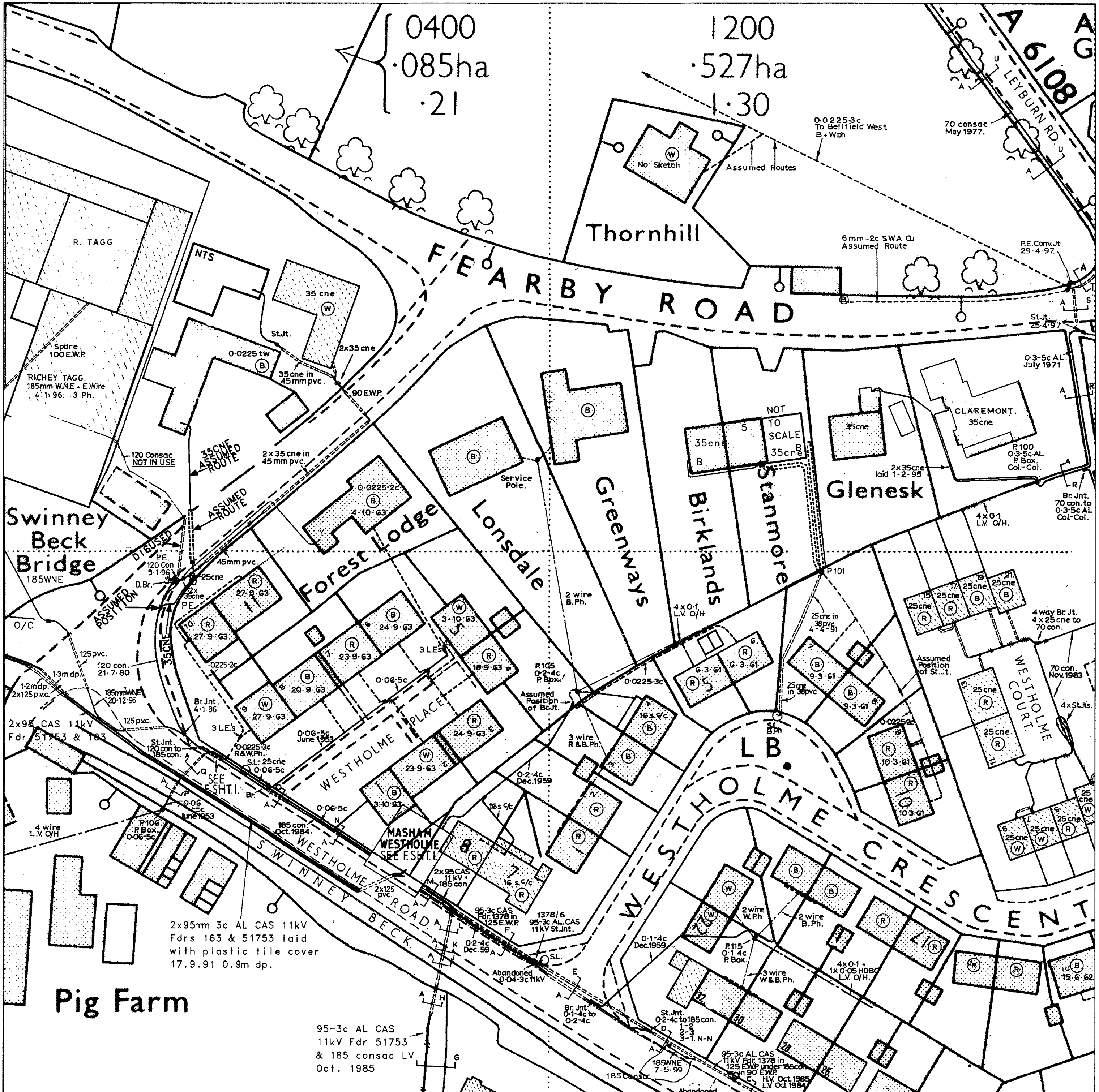
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0400  
·085ha  
·21

1200  
·527ha  
1·30

A 6108  
LEYBURN RD.

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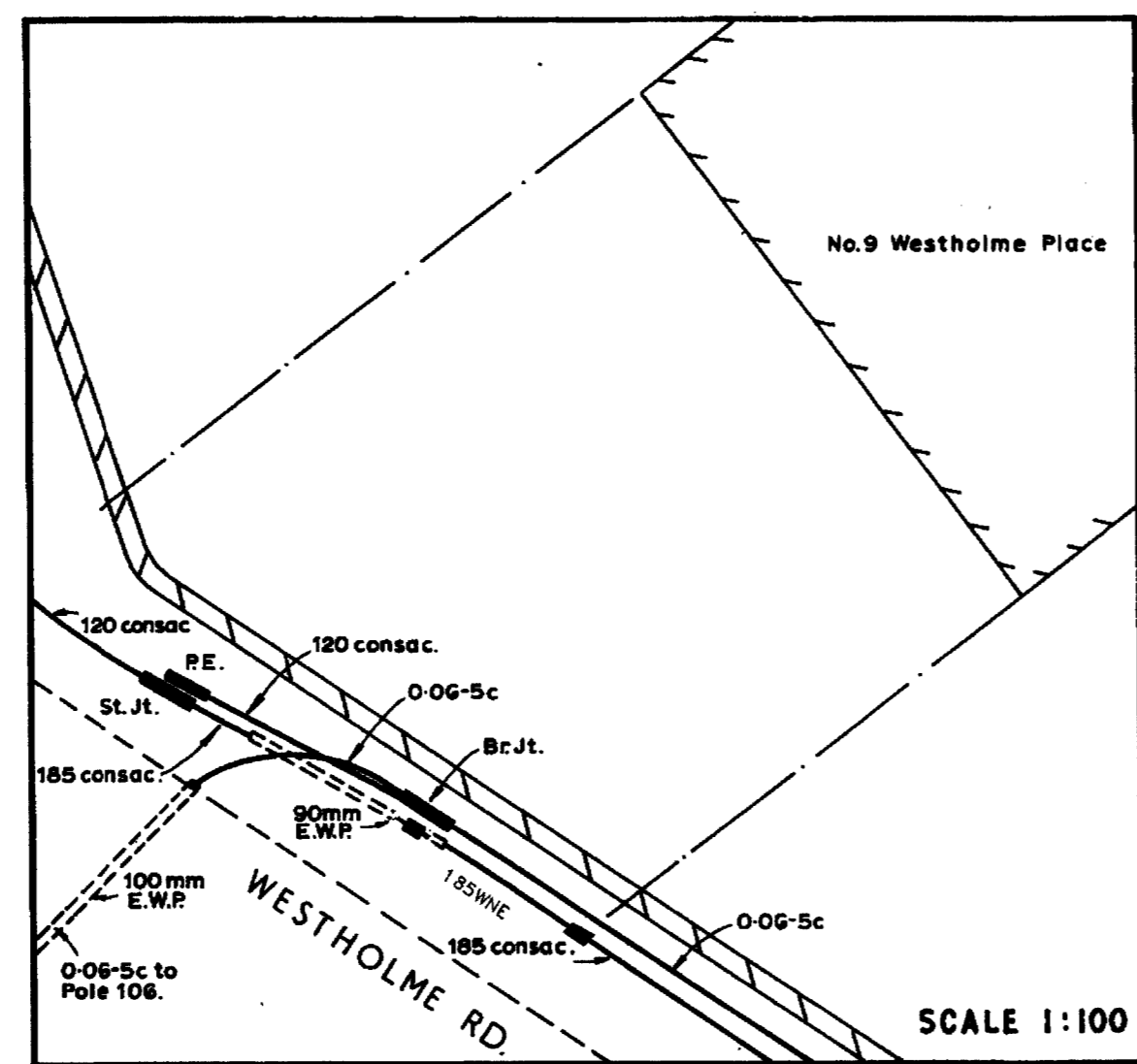
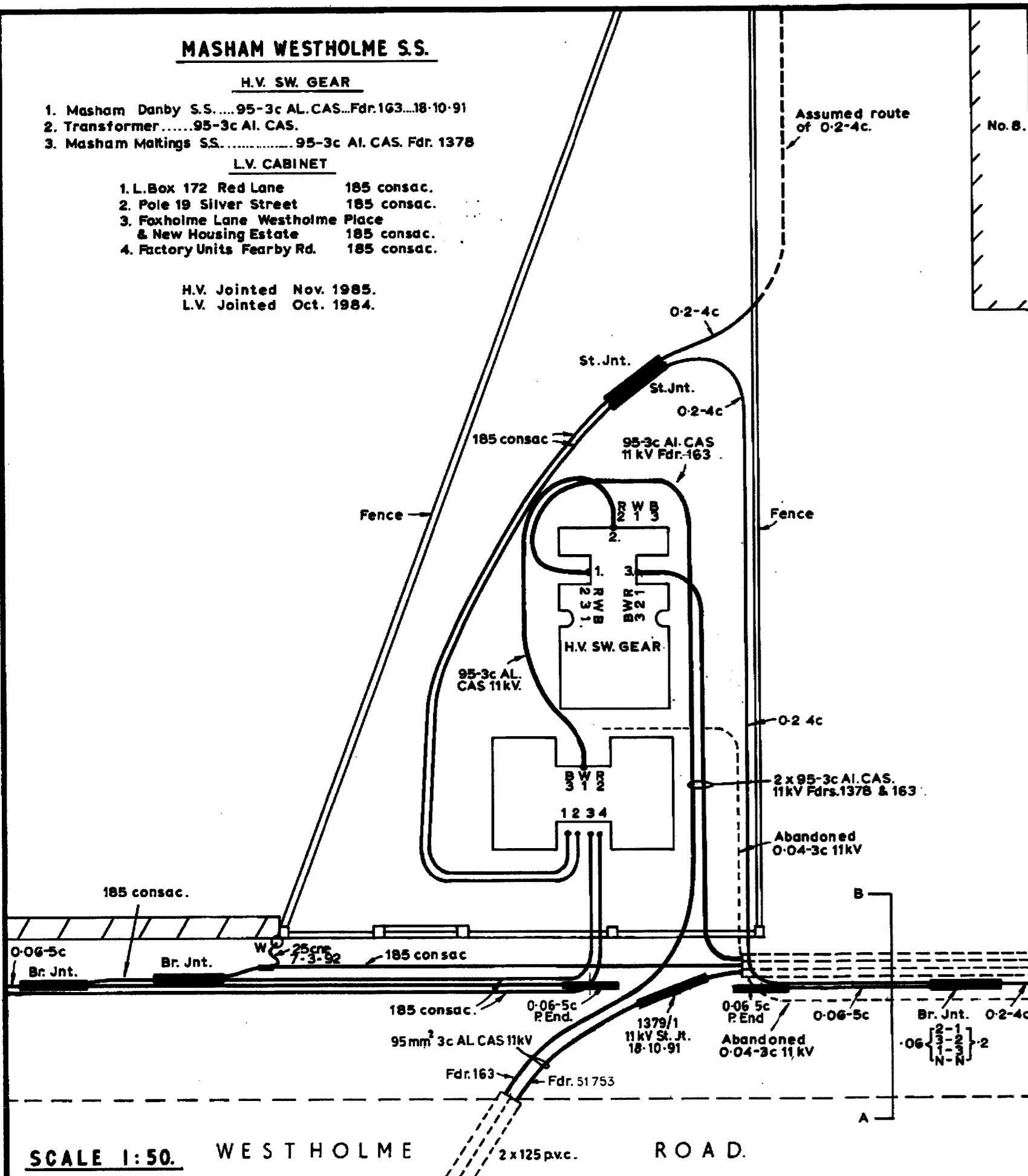
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- H.V. SW. GEAR**
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  2. Transformer 95-3c AL CAS.
  3. Masham Matings S.S. 95-3c AL CAS. Fdr. 1378

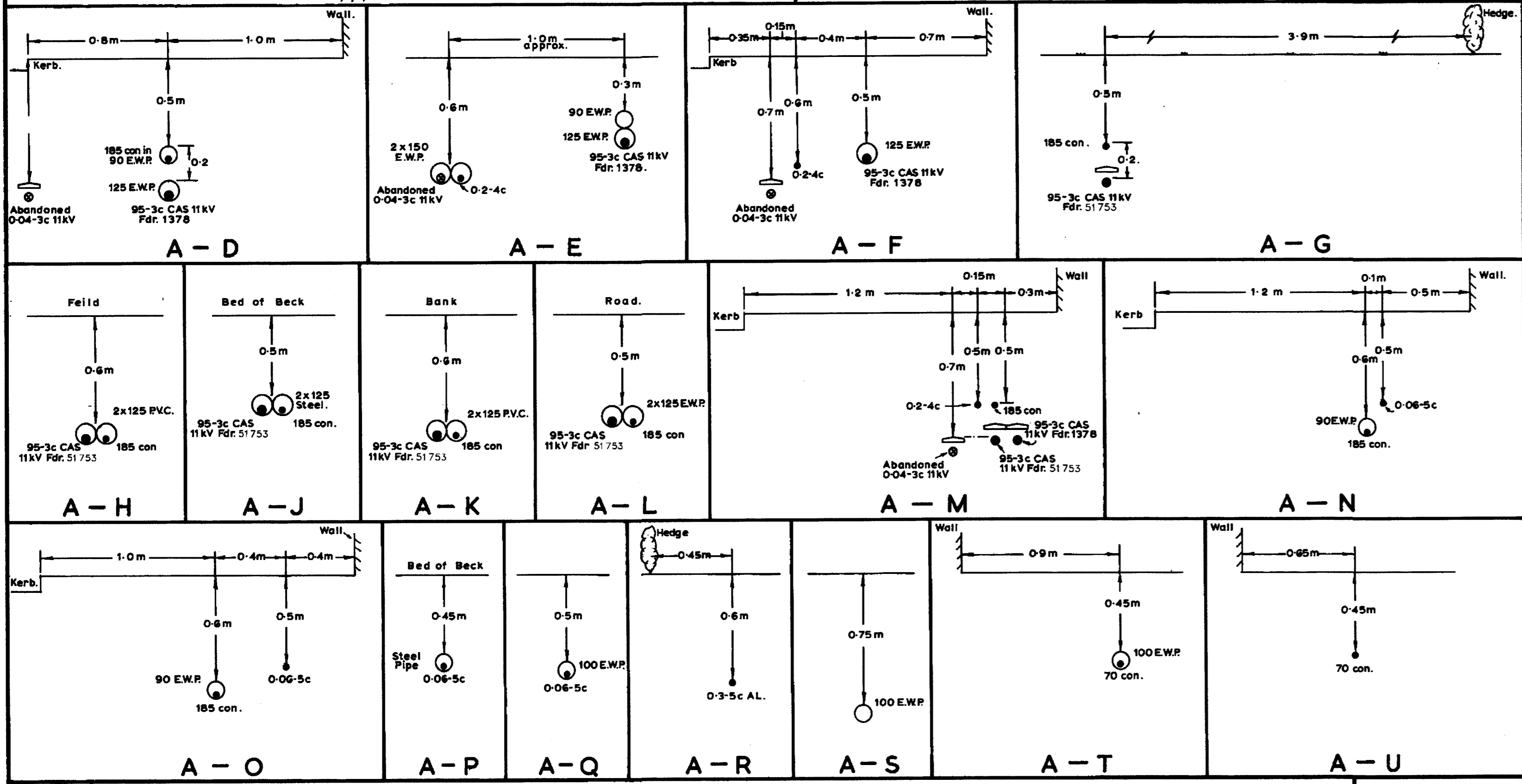
**L.V. CABINET**

1. L. Box 172 Red Lane 185 consec.
2. Pole 19 Silver Street 185 consec.
3. Foxholme Lane Westholme Place
4. New Housing Estate 185 consec.
5. Factory Units Ferry Rd. 185 consec.

H.V. Jointed Nov. 1985.  
L.V. Jointed Oct. 1984.



ENLARGEMENT OF JOINTING IN F.P. OPP. NO. 9 WESTHOLME PLACE.



**NORTH YORKSHIRE DISTRICT. SCALE: 1/20 MASHAM FACING DETAIL SHEET NO: 1 SE 220808**

REVISED  
21. 11. 85  
7. 5. 97  
9. 3. 98

E.S.H.T. 1 TO SE 220808

Scale: 1:500  
Map: SE220808.001  
Date: 07 Feb 2017

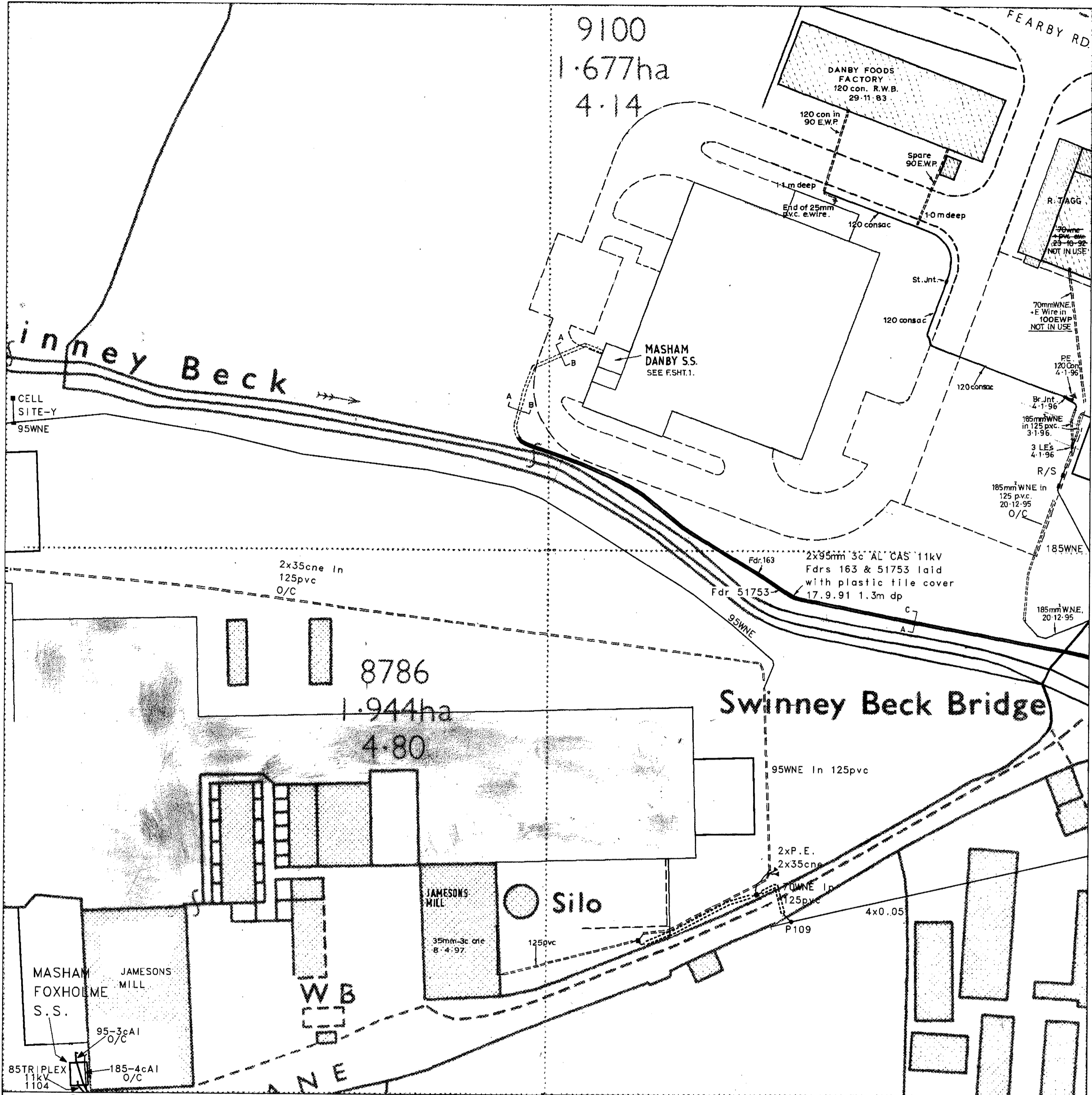
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**MASHAM WESTHOLME S.S.**

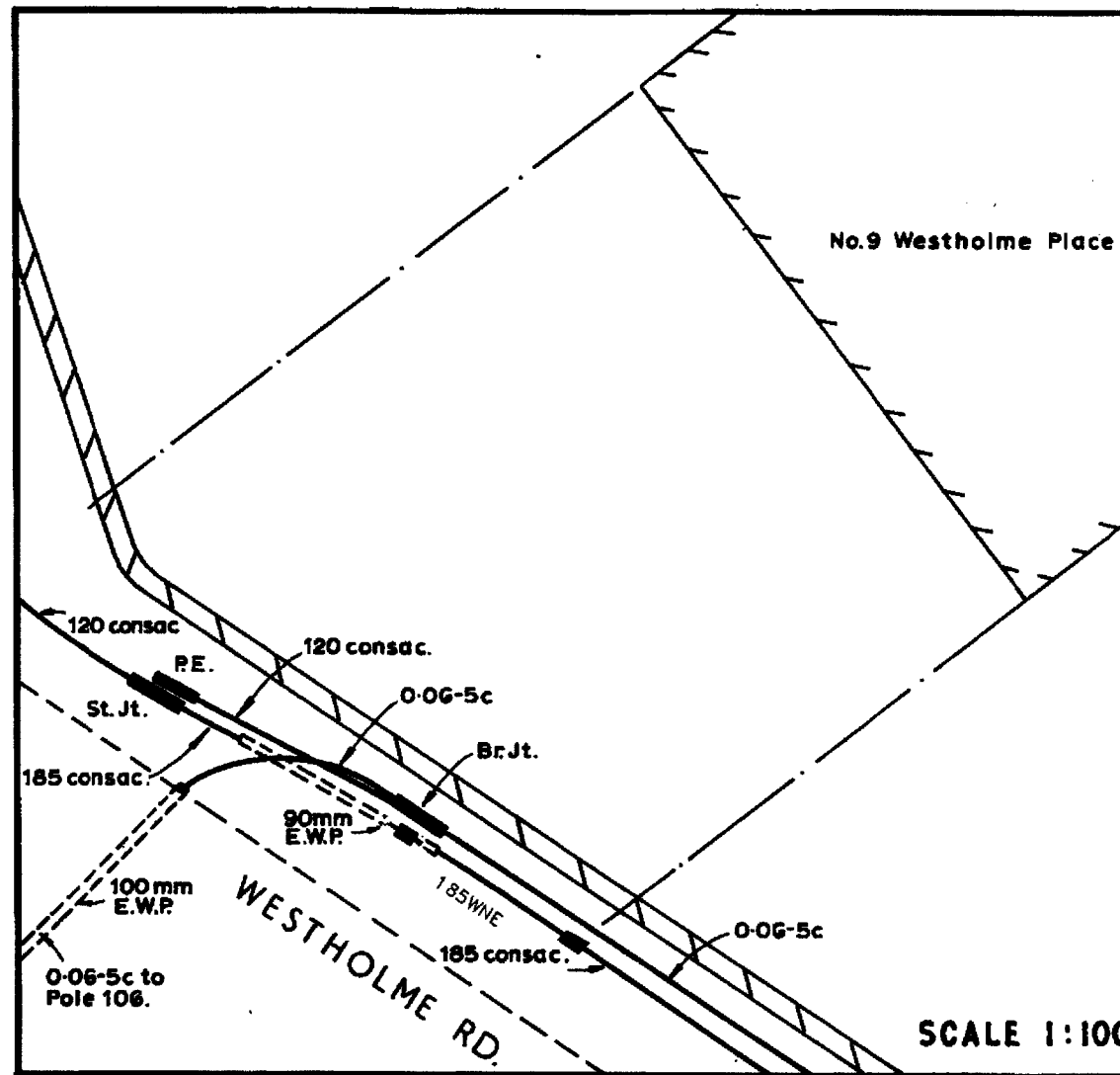
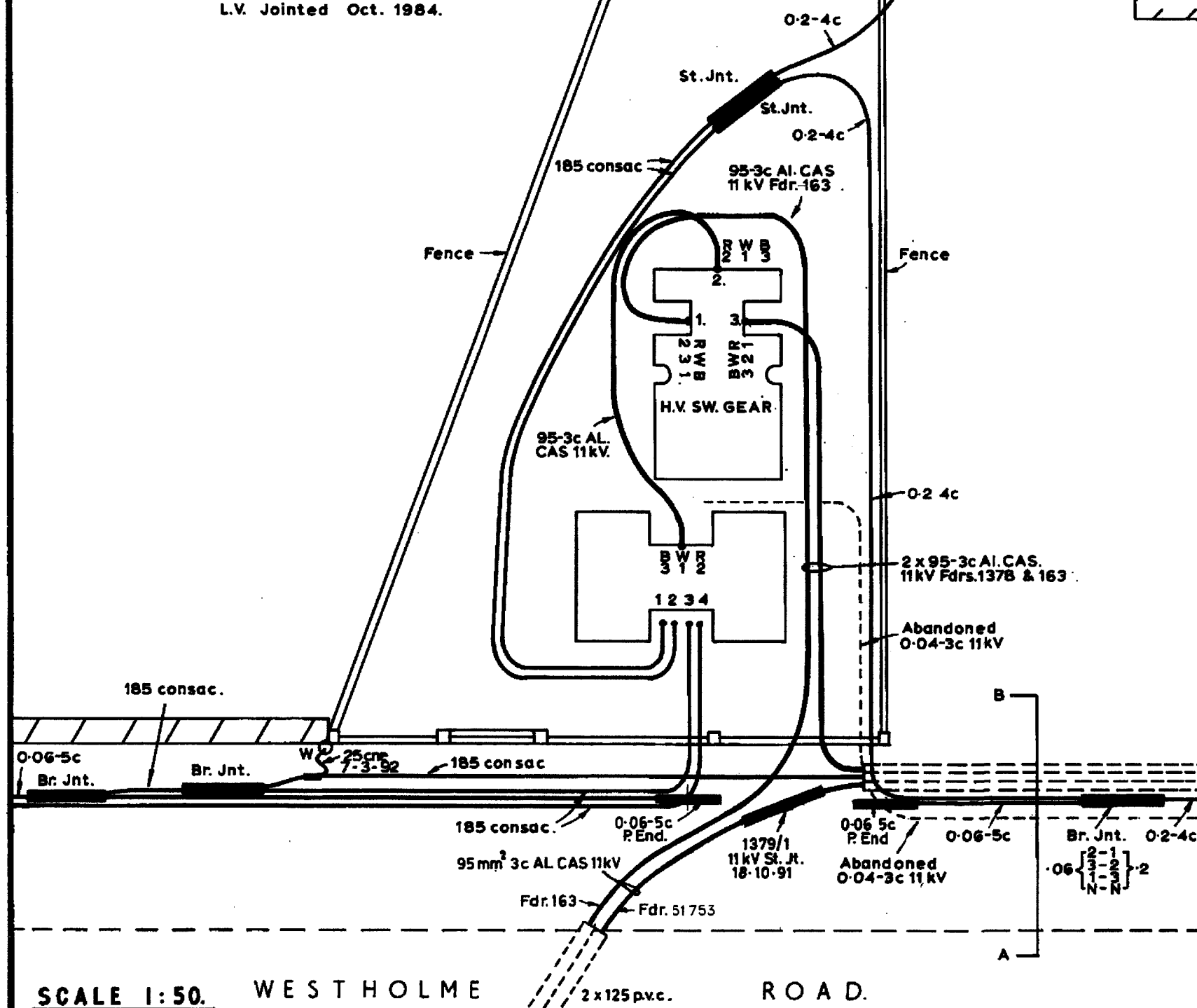
**H.V. SW. GEAR**

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3. Masham Matings S.S. .... 95-3c AL CAS. Fdr. 1378

**L.V. CABINET**

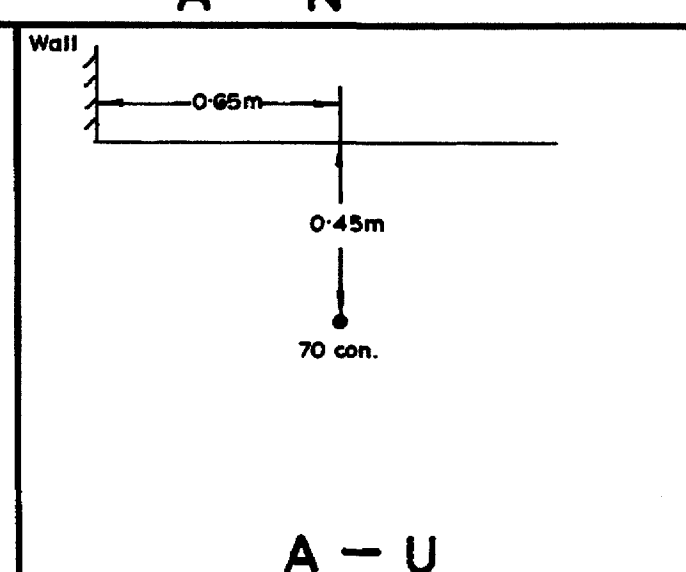
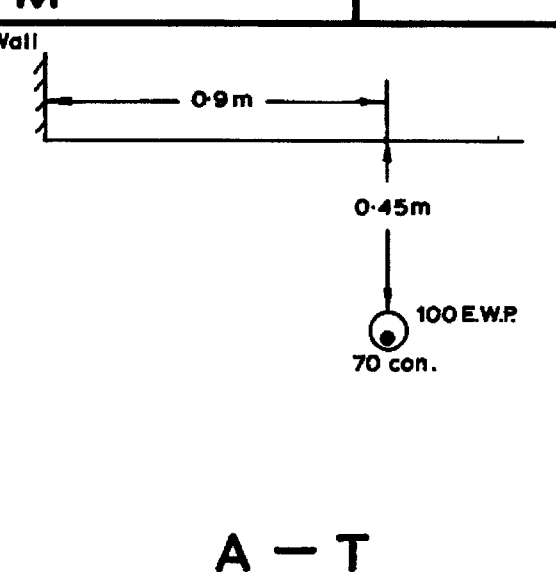
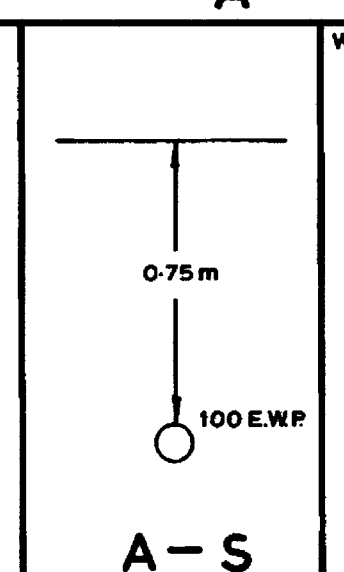
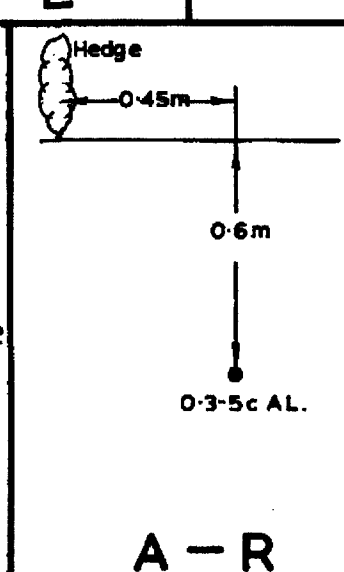
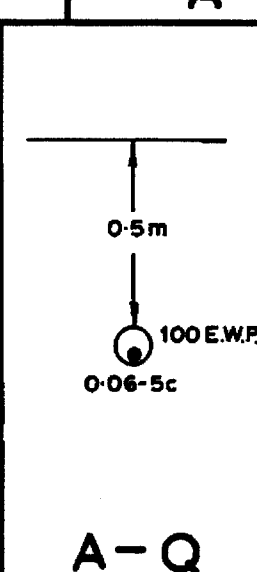
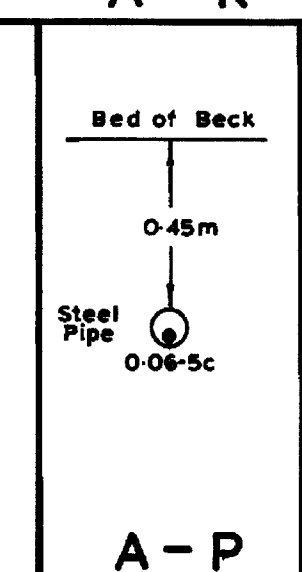
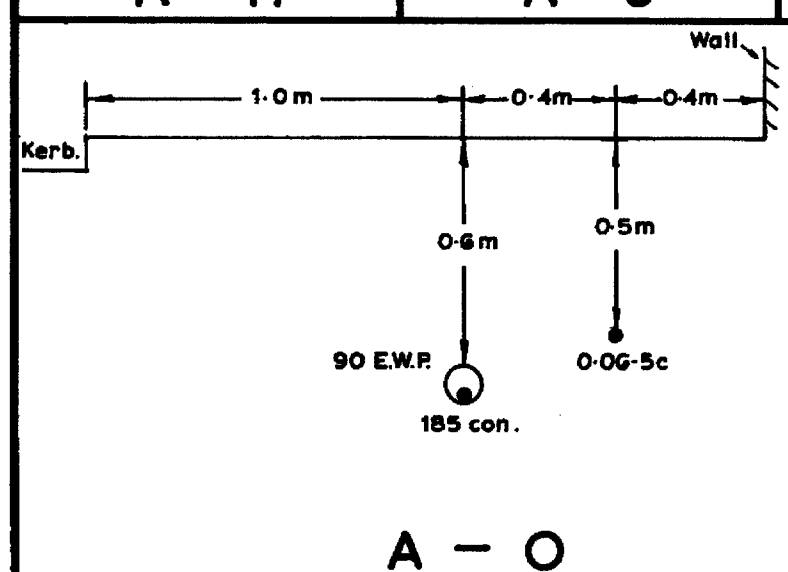
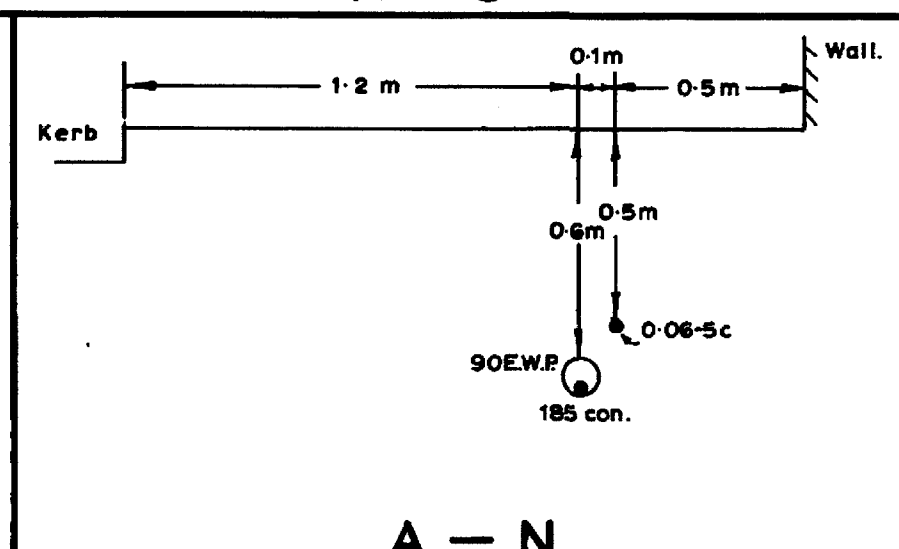
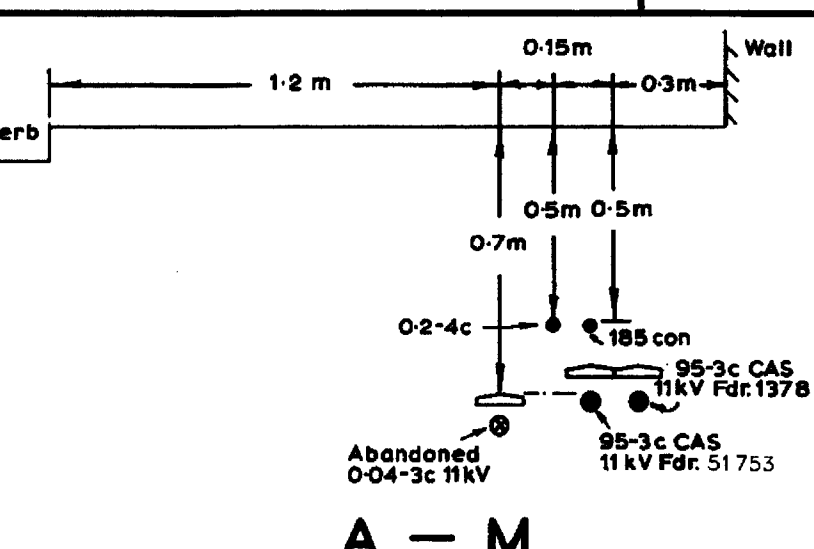
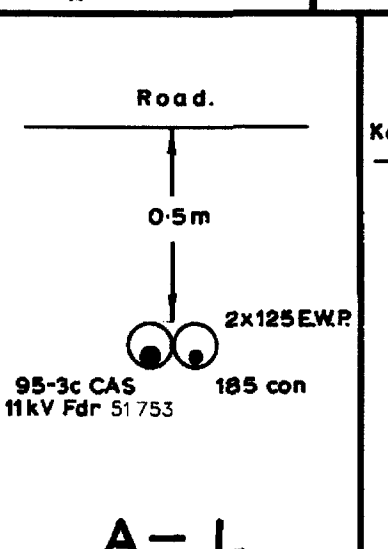
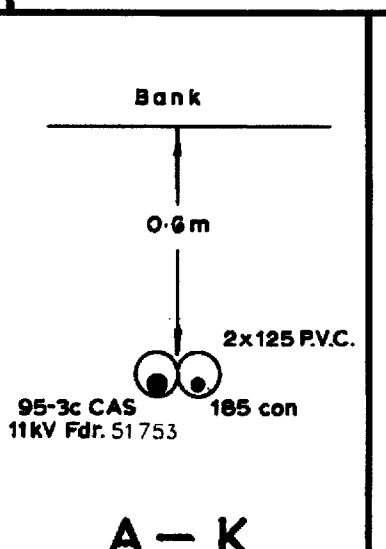
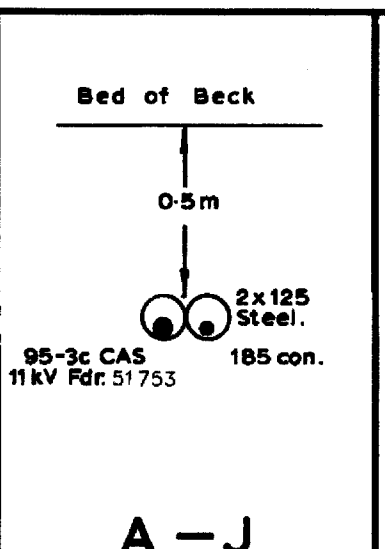
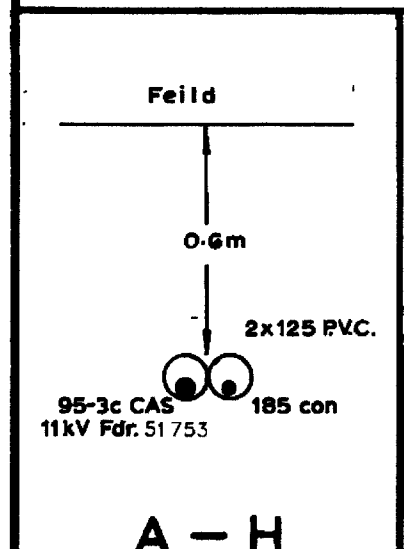
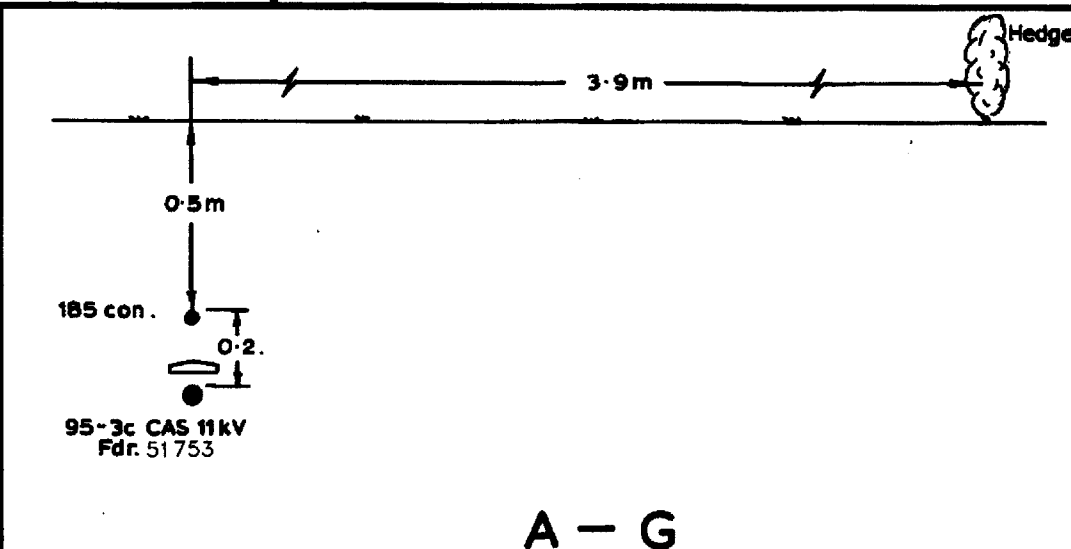
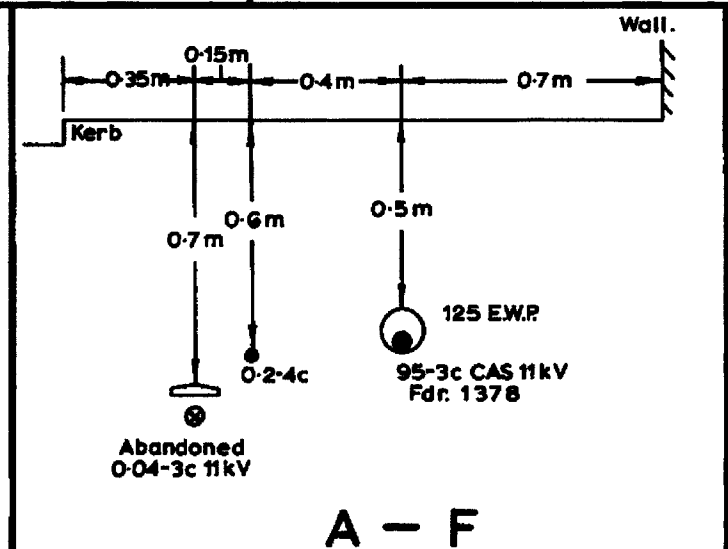
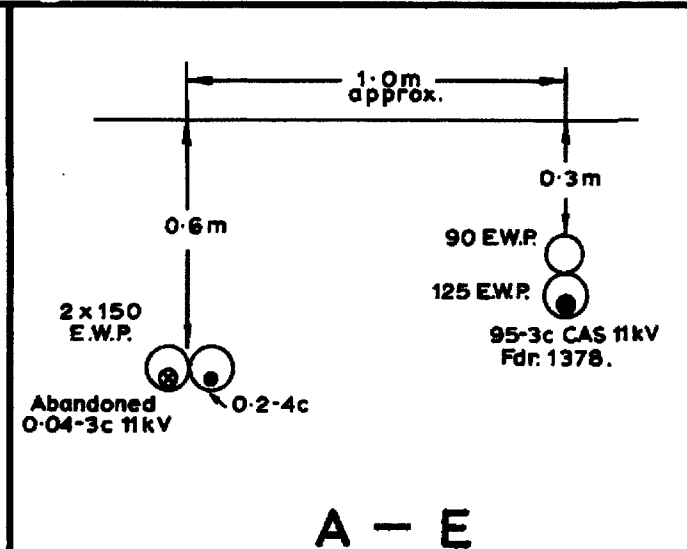
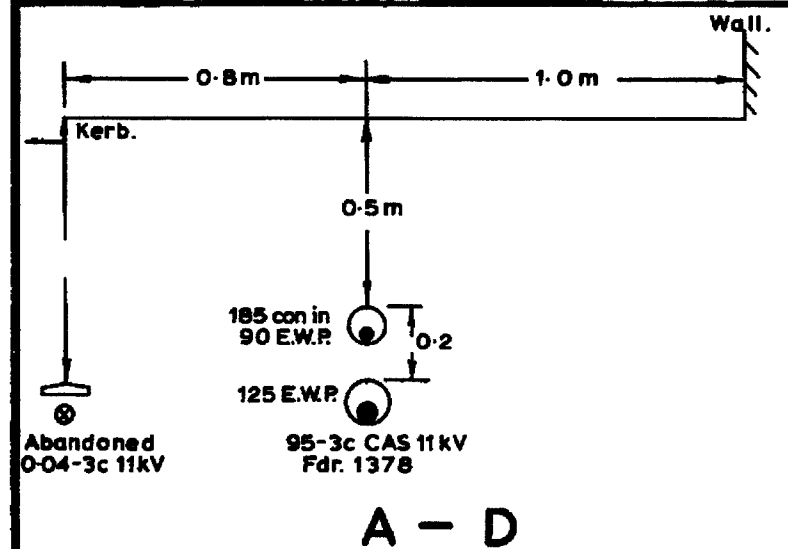
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2. Pole 19 Silver Street 185 consac.
3. Foxholme Lane Westholme Place & New Housing Estate 185 consac.
4. Factory Units Fearby Rd. 185 consac.

H.V. Jointed Nov. 1985.  
L.V. Jointed Oct. 1984.



ENLARGEMENT OF JOINTING IN F.P. OPP No.9 WESTHOLME PLACE.

REVISED  
21-11-85  
25-10-91  
7-5-97  
9-3-98



NORTH YORKSHIRE DISTRICT. SCALE: 1/20 MASHAM FACING DETAIL SHEET NO: 1 SE 220808

F.SHT 1 TO SE 220808

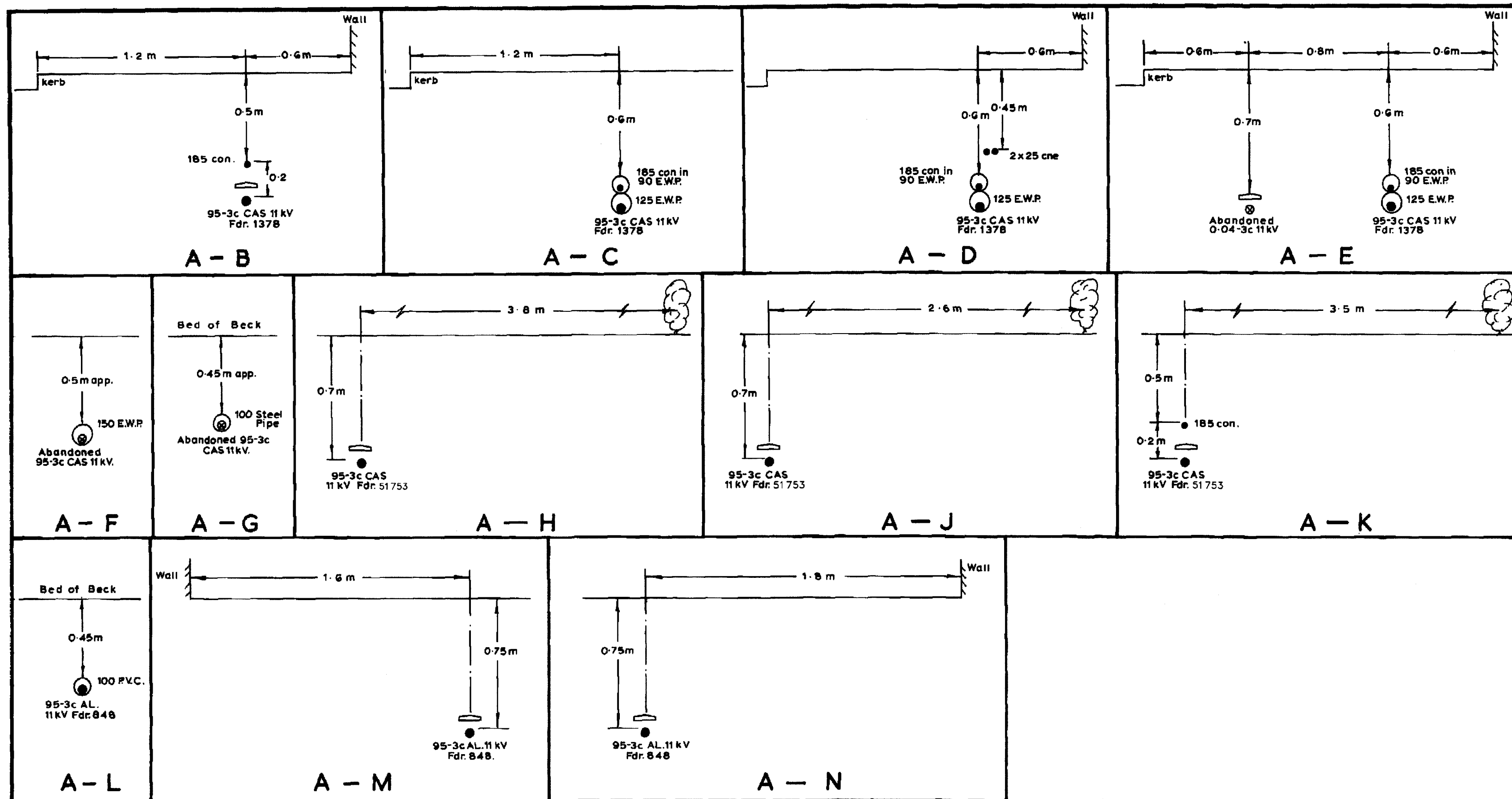
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Map: SE220808.001  
Date: 07 Feb 2017

**Dig Safety**

1. Use Plans
2. Use Cable Locator
3. Hand Dig To Confirm

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REVISED  
22.11.85

NORTH YORKSHIRE DISTRICT. SCALE : 1/20

MASHAM FACING DETAIL SHEET NO : 1

SE 220806

F.SHT. 1 TO SE220806

Scale: 1:500  
Map: SE220806.001  
Date: 07 Feb 2017

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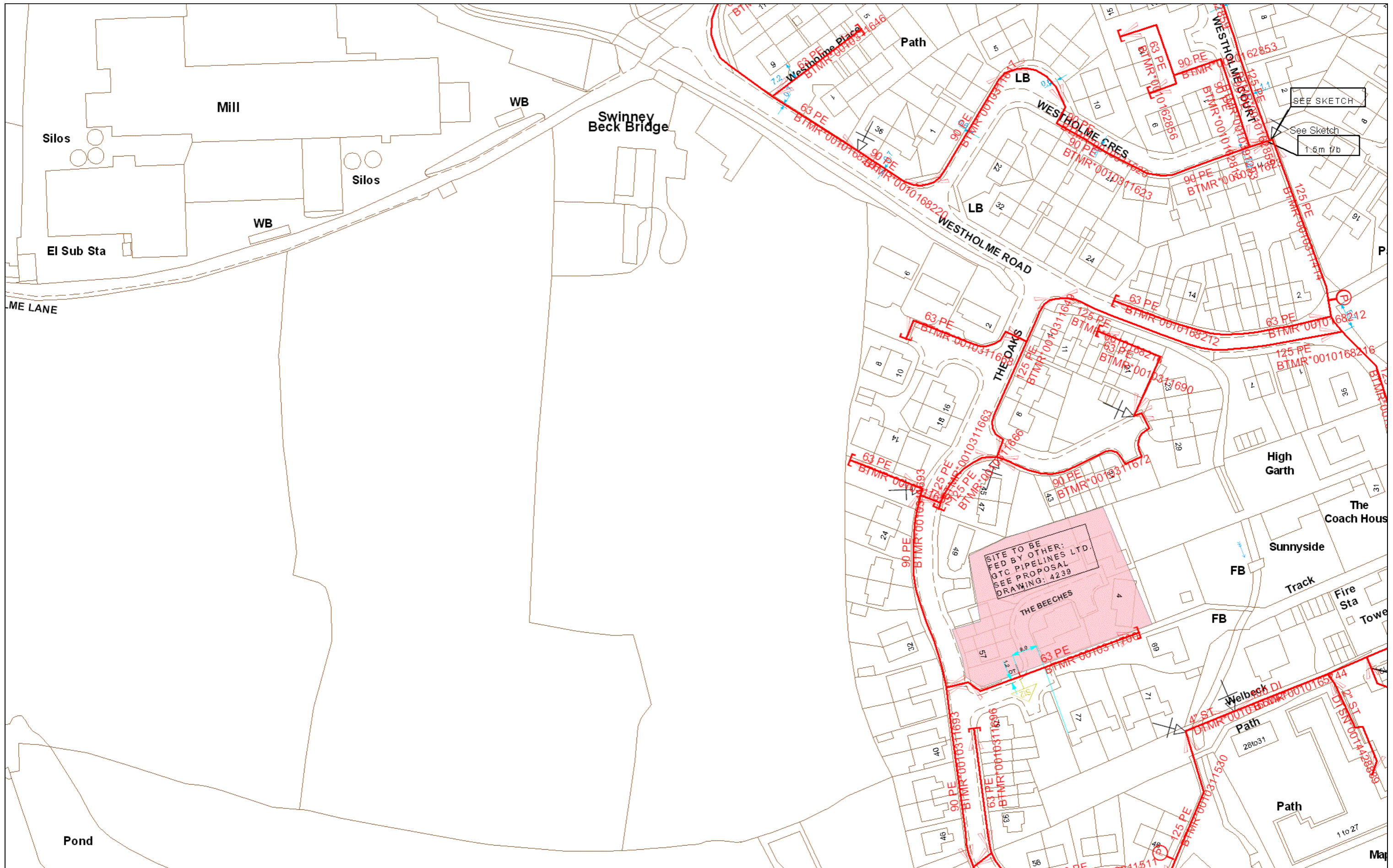
ELECTRIC CABLES AND/OR OVERHEAD LINE INFORMATION SHOWN ON THE RECORD PLANS ARE TO BE USED IN ACCORDANCE WITH THE HEALTH & SAFETY EXECUTIVE'S BOOKLET HSG(G)47, "AVOIDING DANGER FROM UNDERGROUND SERVICES", AND GUIDANCE NOTE GS 8, "AVOIDANCE OF DANGER FROM OVERHEAD ELECTRIC LINES". RECORD PLANS DO NOT ALWAYS SHOW OUT OF COMMISSION CABLES OR SERVICE CABLES FROM NORTHERN POWERGRID'S MAINS TO ADJOINING OR CROSS ROAD PROPERTIES. PLANS DO NOT SHOW LOCAL AUTHORITY OWNED PUBLIC LIGHTING OR SIGN CABLES. THE INFORMATION IS PROVIDED AS A SERVICE BY NORTHERN POWERGRID AND DOES NOT IMPART ANY LEGAL OBLIGATION ON THEIR PART. PERSONS USING IT ARE REMINDED OF THEIR RESPONSIBILITY TO EXECUTE WORKS SAFELY TO AVOID DAMAGING NORTHERN POWERGRID'S APPARATUS. FURTHER ADVICE OR ASSISTANCE IS AVAILABLE FROM THE RECORDS INFORMATION CENTRE ON 0191 2294296. IN AN EMERGENCY OR OUTSIDE NORMAL WORKING HOURS CONTACT OUR CUSTOMER INFORMATION CENTRE ON 0800 668877. CABLE DEPTHS SHOWN WERE CORRECT AT THE TIME CABLES WERE LAID HOWEVER ALTERATIONS TO GROUND LEVELS OR CABLE DISPOSITION MAY HAVE TAKEN PLACE

**Dig Safely**  
1. Use Plans  
2. Use Cable Locator  
3. Hand Dig To Confirm

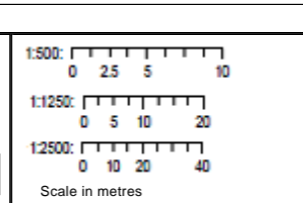
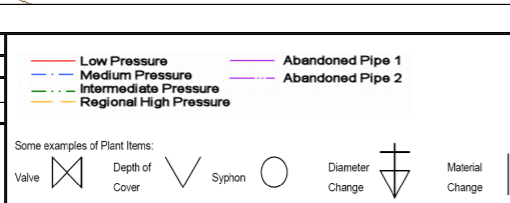
APPENDIX E-3

**NORTHERN GAS NETWORK (NATURAL GAS  
SUPPLY)**

---



|                          |               |
|--------------------------|---------------|
| <b>Title:</b>            |               |
| <b>Scale:</b>            | 1:1250        |
| <b>User ID:</b>          | G Paterson    |
| <b>Date:</b>             | 09/02/2017    |
| <b>Grid Ref:</b>         | 422020,480735 |
| <b>Internal Use Only</b> |               |



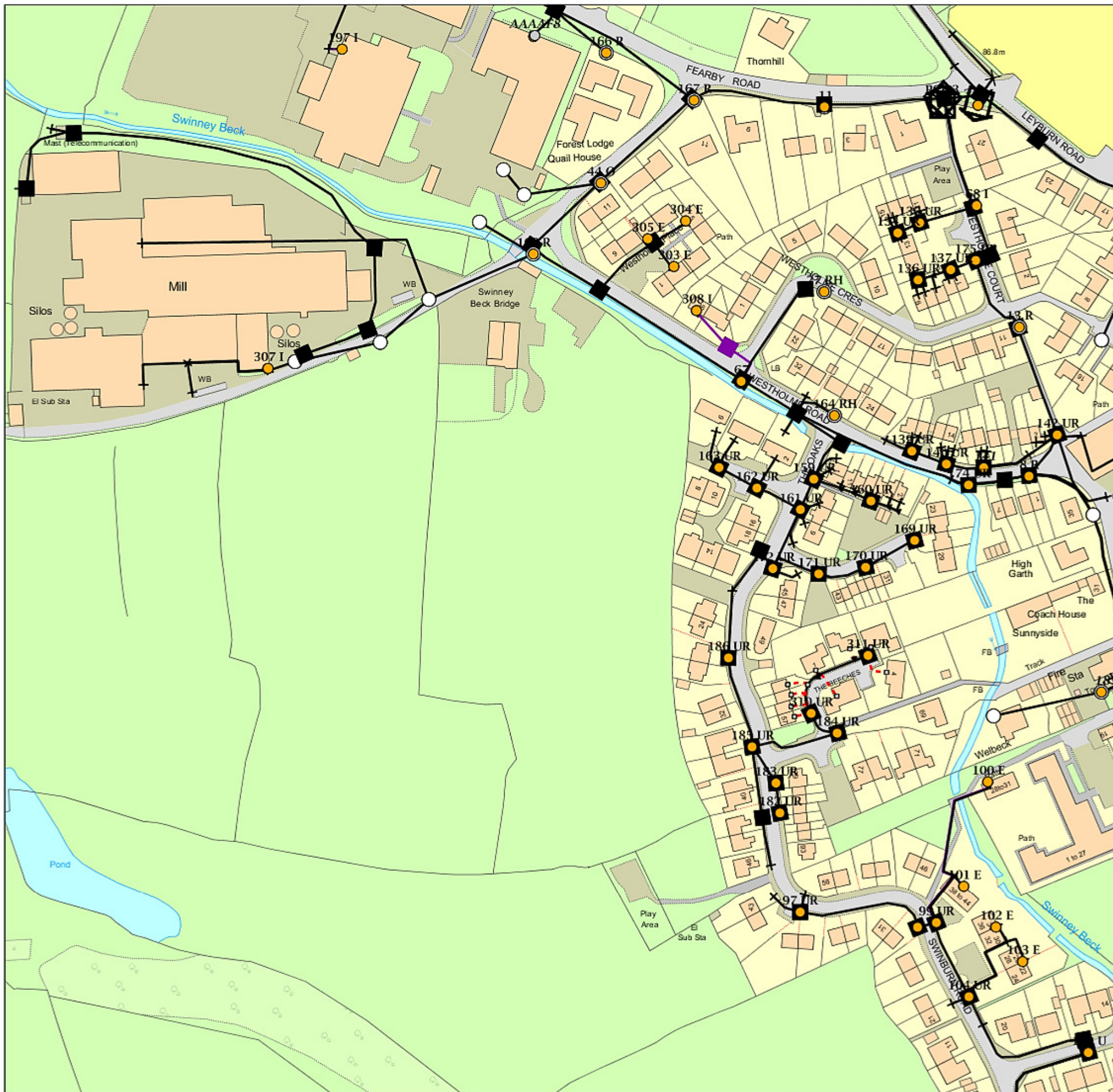
This plan shows those pipes owned by Northern Gas Networks or the relevant Gas Distribution Network in their roles as Licensed Gas Transporters (GT). Gas pipes owned by other GTs, or otherwise privately owned, may be present in this area. Information with regard to such pipes should be obtained from the relevant owners. The information shown on this plan is given without warranty, the accuracy thereof cannot be guaranteed. Service pipes, valves, syphons, stub connections, etc. are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Northern Gas Networks, the relevant Gas Distribution Network, or their agents, servants or contractors for any error or omission. Safe digging practices, in accordance with HS(G)47, must be used to verify and establish the actual position of mains, pipes, services and other apparatus on site before any mechanical plant is used. It is your responsibility to ensure that this information is provided to all persons (either direct labour or contractors) working for you or near gas apparatus. The information included on this plan should not be referred to beyond a period of 28 days from the date of issue.

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APPENDIX E-4

**BT OPENREACH (TELECOMMUNICATION)**

# Maps by email Plant Information Reply



## IMPORTANT WARNING

Information regarding the location of BT apparatus is given for your assistance and is intended for general guidance only. No guarantee is given of its accuracy. It should not be relied upon in the event of excavations or other works being made near to BT apparatus which may exist at various depths and may deviate from the marked route.



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### CLICK BEFORE YOU DIG

FOR PROFESSIONAL FREE ON SITE ASSISTANCE PRIOR TO COMMENCEMENT OF EXCAVATION WORKS INCLUDING LOCATE AND MARKING SERVICE

email [cbyd@openreach.co.uk](mailto:cbyd@openreach.co.uk)

ADVANCE NOTICE REQUIRED  
(Office hours: Monday - Friday 08.00 to 17.00)  
[www.openreach.co.uk/cbyd](http://www.openreach.co.uk/cbyd)

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## KEY TO BT SYMBOLS

|             |  |                 |  |
|-------------|--|-----------------|--|
| DP          |  | Pole            |  |
| Planned DP  |  | Planned Pole    |  |
| PCP         |  | Joint Box       |  |
| Planned PCP |  | Change Of State |  |
| Built       |  | Split Coupling  |  |
| Planned     |  | Duct Tee        |  |
| Inferred    |  | Planned Box     |  |
| Building    |  | Manhole         |  |
| Kiosk       |  | Planned Manhole |  |
| Hatchings   |  | Cabinet         |  |
|             |  | Planned Cabinet |  |

Other proposed plant is shown using dashed lines.  
BT Symbols not listed above maybe disregarded.  
Existing BT Plant may not be recorded.  
Information valid at time of preparation

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BT Ref : XQM03463U

Map Reference : (centre) SE2202380735

Easting/Northing : (centre) 422023,4807

Issued : 09/02/2017 15:46:54

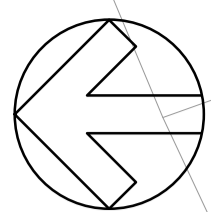
**WARNING: IF PLANNED WORKS FALL INSIDE HATCHED AREA IT IS ESSENTIAL BEFORE PROCEEDING THAT YOU CONTACT THE NATIONAL NOTICE HANDLING CENTRE. PLEASE SEND E-MAIL TO: [nnhc@openreach.co.uk](mailto:nnhc@openreach.co.uk)**

# Appendix F

**EXISTING COMPOSITE UTILITIES PLAN**







NORTH

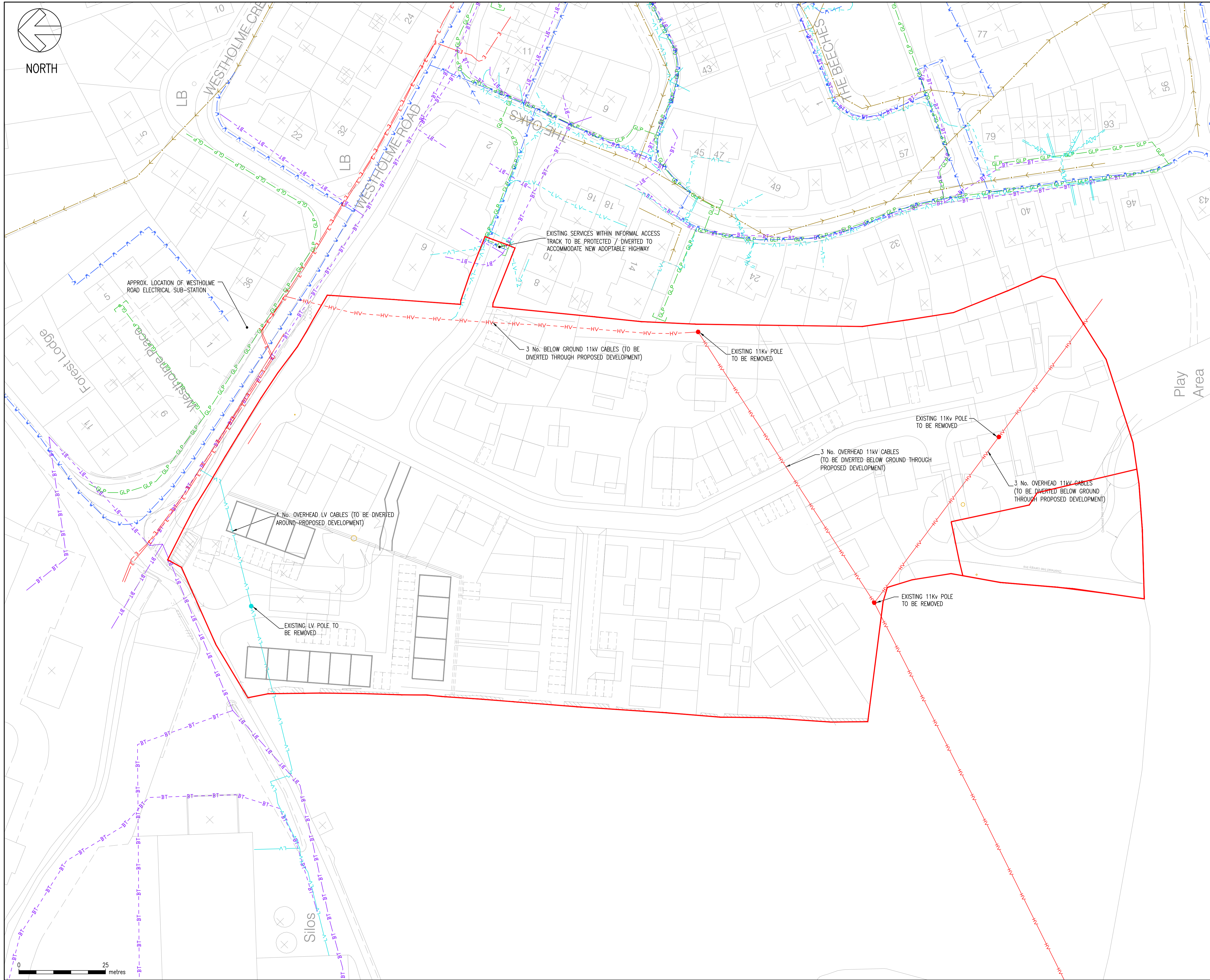
DO NOT SCALE

KEY:

DISCLAIMER NOTE

INFORMATION ON THE LOCATION AND SIZE FOR EACH SERVICE HAS BEEN BASED ON RECORD INFORMATION PROVIDED BY THE RELEVANT SERVICE COMPANIES. THE POSITIONS SHOWN ARE INDICATIVE ONLY AND MAY NOT BE COMPLETE. THE PRESENCE OF SERVICES ON SITE SHOULD BE VERIFIED PRIOR TO ANY CONSTRUCTION WORK OR INTRUSIVE INVESTIGATIONS.

- SITE BOUNDARY
- EXISTING DRAINAGE ADOPTABLE
- FOUL WATER SEWER
- SURFACE WATER SEWER
- EXISTING GAS
- LOW PRESSURE
- EXISTING ELECTRICITY
- UNKNOWN VOLTAGE
- LV (LOW VOLTAGE OVERHEAD)
- LV (LOW VOLTAGE)
- HV (11kV OVERHEAD)
- HV (11kV)
- ● APPROX. LOCATION OF 11kV / LV WOODEN POLE
- EXISTING TELECOM
- BRITISH TELECOM (OVERHEAD)
- BRITISH TELECOM
- EXISTING WATER
- WATER MAIN



| B   | 03.03.17 | KD | UPDATED ARCHITECTS LAYOUT | CS  |     |
|-----|----------|----|---------------------------|-----|-----|
| A   | 24.02.17 | KD | FIRST ISSUE               | CS  |     |
| REV | DATE     | BY | DESCRIPTION               | CHK | APP |

DRAWING STATUS: FOR INFORMATION ONLY

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CLIENT: G & C JAMESON

ARCHITECT: P+HS ARCHITECTS

PROJECT: LAND TO THE WEST OF THE OAKS, MASHAM

TITLE: EXISTING UTILITIES PLAN

|             |                 |               |                 |           |            |
|-------------|-----------------|---------------|-----------------|-----------|------------|
| SCALE @ A1: | 1:500           | CHECKED:      | CS              | APPROVED: |            |
| CAD FILE:   | 70028809-UT-001 | DESIGN/DRAWN: | KD              | DATE:     | March 2017 |
| PROJECT No: | 70028809        | DRAWING No:   | 70028809-UT-001 | REV:      | B          |

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\\UK.WSPGROUP.COM\CENTRAL DATA\PROJECTS\700288XX\70028809 - WESTHOLME ROAD - MASHAM\E MODELS AND DRAWINGS\DEVELOPMENT\AUTOCAD\UT EXISTING UTILITIES\70028809-UT-001.DWG 03/03/2017 14:10:05 Scott, Chris