

**High specification
Headquarters office building**



**P R O S P E C T
H O U S E**

Scarborough

**FOR SALE
TO LET**

www.prospectscarborough.com

**Approx 4.69 acres (1.90 ha)
GIA 50,073 sq ft.
4651.90 sq m.**



THE OPPORTUNITY

The property comprises a bespoke headquarters office building which was constructed specifically for Scarborough Building Society in 2002 and officially opened by HRH Duke of York in October 2003.

The property provides accommodation over ground, first and second floors with plant room at third floor level.

The building sits in extensive landscaped grounds in a prominent position at the southern gateway to the town centre and Scarborough Business Park.

The total site area is approx 4.69 acres (1.90 ha).

This versatile modern office facility also offers expansion potential, possibility for change of use, and/or total redevelopment in one of Scarborough's prime sites.

The building is of modern design and construction, with feature semi circular design on the southern elevation.

Internally the office space is fitted out to a high specification offering a variety of open plan and individual comfort cooled office suites.



SCARBOROUGH



A64



A64

YORK



PROSPECT HOUSE

GREAT HQ LOCATION

This property is located on the south side of the North Yorkshire coastal town of Scarborough. known by many as a tourist destination, Scarborough also has an extensive business and employment base, most of which is located in the close vicinity of the subject property at Eastfields/Seamer.

The property overlooks the A64 which provides direct access to the town centre and connects through to York in the south west. There is also easy access to the property via rail with the Seamer Railway Station lying approximately quarter of a mile to the north of the property.

This railway station offers regular connections to York via Malton and the East Coast Mainline.

AMENITIES

In close proximity to the property are the following amenities:

- **Seamer Railway Station**
- **McDonalds fast food restaurant**
- **A public house**
- **Morrisons Supermarket**
- **Various car dealerships**

...and the emerging Scarborough Business Park.

POSTAL ADDRESS

Prospect House
Scarborough Business Park
Lake View
Seamer
Scarborough
YO11 3YU



SITE AREA

The total site area extends to approximately 4.69 acres (1.90 ha); the building sits in landscaped grounds with secure car parking occupying part of this with some 153 spaces currently available.

SUPERIOR SPECIFICATION

The property was built within the last 10 years to a high level of specification including the following:

- Spacious reception area with security entrance swipe
- 2 x 13 person Kone passenger lifts
- Comfort cooling throughout
- Suspended ceiling throughout with inset Category II lighting
- Fully accessed raised floors
- Restaurant/Canteen with kitchen and server
- Gymnasium with adjoining changing and showering facilities
- Built in conferencing facilities
- Dedicated training area
- Chief Executive suite with shower and adjoining board room with kitchen
- Secure deeds room with document storage and racking system

SCHEDULE OF ACCOMMODATION

Approximate Gross Internal Areas

FLOOR	SQ FT	SQ M
Ground Floor	16,910	1570.98
First Floor	16,663	1548.03
Second Floor	16,500	1532.89
Total	50,073	4651.90

Approximate Net Internal Areas

FLOOR	SQ FT	SQ M
Ground Floor	14,482	1345.41
First Floor	14,476	1344.85
Second Floor	14,399	1337.70
Total	43,357	4027.96

Business Rates

It is noted from the Valuation Office website that the property has a Business rates assessment as follows:

Description	Rateable Value (2010 List)
Offices & Premises	£327,500

The Valuation Office record the rateable area as 38,483 sqft (3,575.1 sqm) and that there are a total of 153 car parking spaces.

TERMS

The property is available for sale freehold. Quoting terms on application. Alternatively our clients will consider leasing the property, on terms to be agreed.

PLANNING

The property has an established use for B1 (offices). We consider there maybe scope to pursue alternative uses and/or partial or additional development within the site area. This would be subject to receipt of all local authority consents. Interested parties are advised to make their own enquiries directly with Scarborough Borough Council Planning Department on 01723 232323.

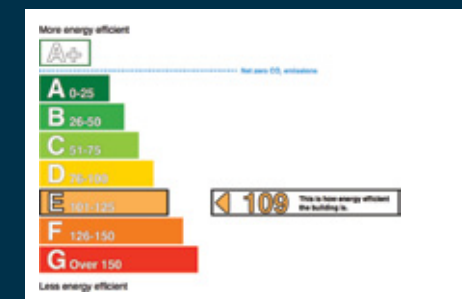
VAT

All reference to price, premium or rent are deemed to be exclusive of VAT unless expressly stated otherwise.

LEGAL COSTS

Each party to pay their own legal costs.

ENERGY PERFORMANCE CERTIFICATE



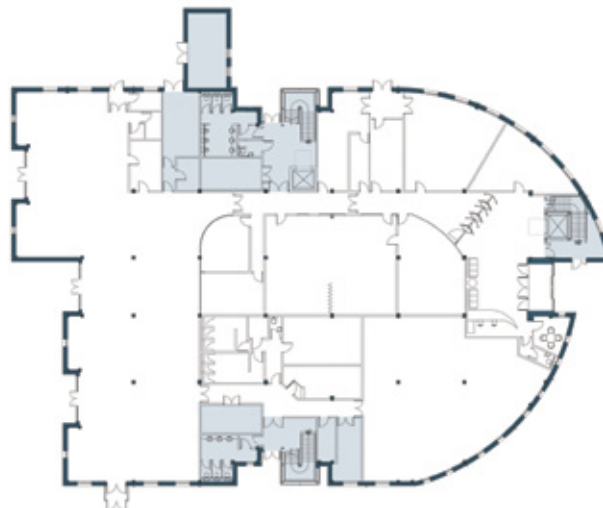
To download the full EPC please see www.prospectscarborough.com



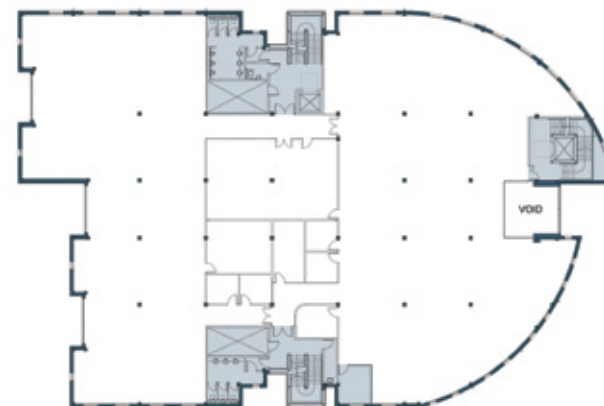
SPACE

The following floor plans are given for indicative purposes.
To download scale plans please go to www.prospectscarborough.com

Ground floor

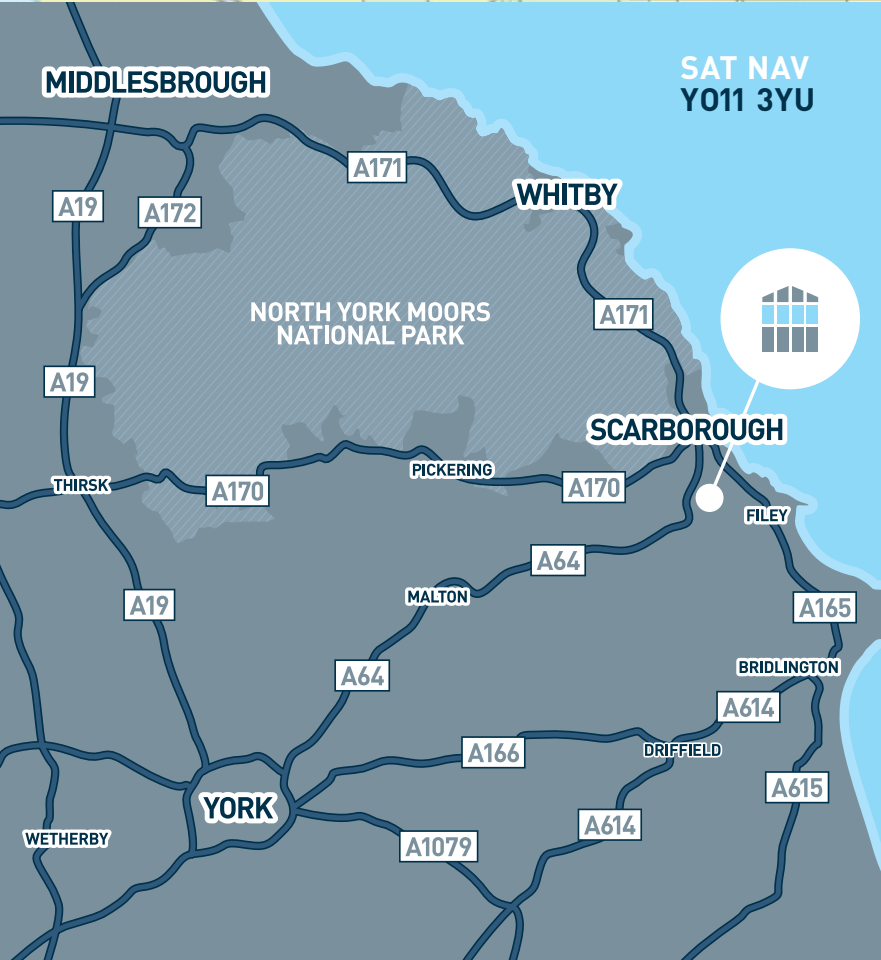


First floor



Second floor





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FURTHER INFORMATION

The following information is available to download from www.prospectscarborough.com

- Floor Plans
- Site Plans
- Emailable PDF of the brochure
- Title Documents

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